

Westgate Hall: Options Appraisal



Conception Architects

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1. EXECUTIVE SUMMARY

1.1. PROJECT BACKGROUND

South Kesteven District Council (SKDC), in collaboration with Historic England and InvestSK, have brought forward proposals for an options appraisal to repair, conserve and re-use Westgate Hall, Westgate, Grantham (centred on National Grid Reference SK 91305 35880), originally constructed as a Corn Exchange in 1852. Since this time, it has been through several different uses, most recently as a nightclub, before being vacated approximately two years ago.

Following their success in being appointed as a High Streets Heritage Action Zone by Historic England and receiving the necessary funding, SKDC in partnership with InvestSK have appointed Conception Architects as the Specialist Conservation Architect to undertake an options appraisal to ascertain a commercially and socially viable future for Westgate Hall.

1.2. WESTGATE HALL

1.2.1. Site Location & Context

Westgate Hall is situated on the eastern side of Westgate, a thoroughfare that runs through the middle of Grantham Town Centre and the Market Place. Once a commercial centre, the 19th and the early 20th Centuries saw the 'commercial centre' gradually expand which included the High Street becoming the primary retail street within the town, with Westgate becoming secondary.

The latter part of the C20th saw Market Place and the adjacent areas suffer from a decline in retail footfall, little investment, and unsympathetic alterations to the historic building stock.

1.2.2. Listing

Grade: II

List Entry Number: 1062439

Date First Listed: 20-Apr-1972

National Grid Reference: SK9130535880

Details:

WESTGATE 1. 1146 (East Side) Westgate Hall SK 9135 NW 8/260 II GV 2. Rain-water Head 1852, former Corn Exchange. Ashlar. 2-storey moulded cornice and balustrade with ball finials. Rusticated quoins. 3 windows - moulded shouldered architrave with curved pediment (6-light transom and mullion). Stone band continues sills and band between ground and 1st floor with 2 shields. 3 bay arcade - tuscan columns and half columns round arch with keystone, 2 side bays filled by shop windows. Westgate Hall and Nos. 1 to 11 (consec) form a group. Listing NGR: SK9130535880

2. OPTIONS APPRAISAL

The descriptions below summarise the information provided in the individual reports, attached as Appendices to the main document.

2.1. CONDITION & PHOTOGRAPHIC SURVEYS

(Refer to Appendix A: Condition Survey and Appendix B: Photographic Surveys for full reports)

2.1.1. Westgate Frontage

The condition survey highlighted the need for stone repairs, rainwater good repair and reinstatement and general maintenance in the form of pigeon faeces and vegetation removal from the main elevation.

The masonry of the Westgate Elevation has previously been inappropriately cleaned using machinery, prior to this project commencing.

The various windows and doors across the ground and first floors are either damaged, inappropriate, or hidden behind hoarding, and will require an extensive schedule of repairs and/or reinstatements.

2.1.2. Side Elevation: North

The masonry is suffering from water staining and damage, most likely because of the damaged rainwater goods behind the parapet wall.

2.1.3. Side Elevation: South

The stonework is weathering and spalling to various degrees, with receding mortar visible as well. The chimney pointing is also receding.

2.1.4. Rear Elevation

The masonry on the rear elevation, specifically to the ground floor extension, is a blend of materials and ages. There are various stains and inappropriate fixtures that will need to be cleaned or removed from the elevation.

The various modern rainwater goods are inappropriate and should be removed and reinstated.

2.1.5. RG01

The various modern fixtures and decorations, including the mezzanine floor and modern floor covering, should be removed. The room/unit does not appear to be damaged.

2.1.6. RG02 & RG03

These two units have been extensively decorated and reconfigured to allow for their use as the entrance for the Hall's previous use as a nightclub. Further damage may be uncovered once the carpet and the false ceiling are investigated.

2.1.7. RG04

This unit has a separate entrance and cannot be accessed from the rest of the Hall. It has been extensively redecorated as the cloakroom for the Hall during its previous use as a nightclub. Investigations into the false ceiling may uncover further damage above it.

2.1.8. RG05 & RG06

These units provide access to the 1st floor and the housing for the wiring center for the Hall under a previous use. Although much historic detailing is evident, both areas will require an extensive schedule of repairs and redecoration.

2.1.9. RG07

The focal point for the property, the main hall runs the full height and width of the property. The existing floor covering is covering the historic and has been extensively damaged. The 12 roof windows have been covered and are obviously damaged behind these coverings. The walls and roof have been decorated black in line with its last use as the main area for the nightclub. All existing doors are modern and will require reinstatement.

2.1.10. RF01

The large double height room that forms the main area of the 1st floor, it is in a similar condition to RG07. The existing windows will require repair and/or reinstatement, the existing floor covering will need to be removed so the historic timber floor can be inspected, and all walls will need to be cleaned of existing paint and repaired and redecorated.

2.1.11. RF02

This smaller roof adjoining RF01 is in a similarly poor condition and will require a full list of repairs and decorations, including rebuilding the area surrounding the only window.

2.1.12. RF03

This communal area, used to access all other units/rooms, will need to be fully cleaned of pigeon faeces, and redecorated in line with the proposed use of the Hall.

2.1.13. RF04

The existing WC fixtures and decorations should be removed so the room can be repaired and reinstated as a WC with new fixtures.

2.1.14. RF05

The viewing balcony will need to be cleaned or all rubble before being repaired and redecorated as required.

2.1.15. Stairwell

The historic stairwell is in relatively good condition, though will need to be cleaned of all faeces before undergoing repairs where noted, and finally it will need to be redecorated.

The ornate ceiling window will also need to be repaired and the missing glazing reinstated as required.

2.1.16. Basement

All the basement units are in a similar condition and will need to be cleaned and redecorated to varying extents, depending on their final use.

2.2. STRUCTURAL REPORT

(Refer to Appendix C: Simplify Engineering Structural Report)

2.2.1. Water Ingress

One of the main issues highlighted by the structural report submitted by Simplify Engineering was the water ingress, clearly visible in several locations on all three floors of the Hall. This has resulted in cracked, damaged and separating plaster that will need to be removed and reinstated. Water penetration near areas that are rife with electrical installations will need to be dealt with care.

2.2.2. Roof

The report identified the roof to be in a worse condition than the rest of the Hall in general and should be inspected and repaired by a specialist roofing contractor. High level scaffolding and the removal of the existing internal finishes and slate covering will need to be removed to confirm the condition.

2.2.3. Structural Stability

The structural engineers concluded that the property is in a stable condition from a structural perspective, with no observation of any significant structural movement.

2.3. SCHEDULE OF REPAIRS & QUANTITY SURVEYORS COST PLAN

(Refer to Appendix D: Schedule of Repairs and Appendix E: Quantity Surveyors Cost Plan)

The Schedule of Repairs lists in detail the extensive works required to repair Westgate Hall, both externally and internally, and restore them to an appropriate condition before the building is adapted for its agreed use.

Listed below are the costs associated with each elevation and unit, taken directly from the Quantity Surveyors Cost Plan. In a separate column we have listed the HIGH PRIORITY/EMERGENCY REPAIRS costs (as per the Schedule of Repairs), which details the agreed repairs, reinstatements and redecoration that would be required before the property is SHOWN to potential tenants. It must be understood that the full scheme of repair works will need to be completed before the property is then let/sold.

The works listed below are for the construction costs only, and do not include the preliminaries, professional fees, contingency or price and design risk. For these costs, please refer to the Quantity Surveyors Cost Plan (Appendix E) for full cost details.

Elevation/Unit/Area	Total Cost	High Priority/Emergency Repairs Cost
Westgate Elevation	£12,779.33	£5,466.83
Side Elevation - North	£4,787.25	£3,422.25
Side Elevation - South	£5,567.25	£5,567.25
Rear Elevation	£11,602.50	£8,775.00
Ground Floor – RG01	£17,209.73	£2,349.75
Ground Floor – RG02 & RG03	£10,049.33	£1,174.88
Ground Floor – RG04	£17,532.45	£1,667.26
Ground Floor – RG05 & RG06	£11,154.98	£3,103.43
Ground Floor – RG07	£82,676.93	£10,212.00
Ground Floor – RG08, 09, 10 & 11	£23,133.34	£0.00
First Floor – RF01	£26,107.58	£682.50
First Floor – RF02	£6,674.36	£1,726.25
First Floor – RF03	£2,176.20	£29.25
First Floor – RF04	£4,491.34	£3,173.63
First Floor – RF05	£2,238.60	£127.24

First Floor – Stairwell	£9,479.36	£4,310.48
Basement – RB01	£10,812.75	£0.00
Basement – RB02	£2,457.98	£0.00
Basement – RB03	£1,570.24	£624.00
Basement – RB04	£9,627.64	£0.00
Basement – RB05	£4,837.46	£0.00
Basement – RB06	£8,593.65	£1,193.40
Basement – RB07	£4,206.15	£1,647.75
Basement – RB08 & RB09	£11,095.01	£0.00
Basement – RB10	£4,313.89	£0.00
Roof	£2,439.45	£2,439.45
CONSTRUCTION WORKS TOTAL	£307,614.71 + VAT	£57,692.60 + VAT

Please note that (as described previously) the works described as HIGH PRIORITY/ EMERGENCY REPAIRS (total £57,692.60 + VAT) are simply the works that have been previously agreed as needing to be completed for the property to be in a suitable enough condition to be SHOWN to potential tenants/owners.

The full scheme of proposed repair works (£307,614.71 + VAT) will need to be completed for the property to be in a suitable enough condition for the property to be let/sold to future tenants/owners.

Please also note that these figures are solely the estimated construction costs, and do not include for preliminaries, professional fees, contingencies etc. Please refer to the Quantity Surveyors Cost Plan (Appendix E) for the total costs.

2.4. PROJECT EXAMPLES & PROPOSED USES

(Refer to Appendix F: Project Examples & Proposed Uses)

2.4.1. Project Example: Foxlowe Art Centre

A house originally built in the 1770's for Thomas Mills, the Foxlowe is currently operating as an Arts Centre with the following facilities and income streams:

- Café
- Room Hire & Functions
- Creative Hub/Rentals
- Arts
- Pledgers/Grants/Donations & Legacies

2.4.2. Project Example: Salisbury Arts Centre

A deconsecrated church that was host to the Salisbury Festival of Arts in 1974 and currently being run by Wiltshire Creative, the Salisbury Arts Centre offers the following facilities and income streams:

- Theatre
- Music
- Dance
- Family Shows
- Exhibitions
- Workshops

2.4.3. Project Example: Dreel Halls

A historic building being run by the Anstruther Improvements Association and has two halls that are rented out for:

- Concerts
- Craft Groups
- Game Nights
- Exhibitions
- Weekly Clubs

2.4.4. Project Example: Brewery Bar + Juke Joint BBQ

A large 1960's warehouse property that has been converted to contain:

- Craft Brewery & Bar
- Restaurant
- Commercial kitchen

2.4.5. Project Example: The Arnolfini

A large Victorian warehouse (Bush House) that originally stored tea, iron and other products, became the new home of The Arnolfini in 1975, operating as an arts centre and exhibition space.

2.4.6. Project Example: House of Vans

Housed inside the brick archways of the railway lines heading Waterloo Station, the House of Vans has divided the tunnels down into cleverly adapted uses:

- A Tunnel for Art
- A Tunnel for Film
- A Tunnel for Music
- A Tunnel for Skateboarding

2.4.7. Project Example: The Engine Shed

The Engine Shed is housed over three floors of the Brunel's original station and operates as a business hub and centre for entrepreneurs, with the following facilities:

- 4 Meeting Rooms
- 3 Event Spaces
- 2 Coworking Spaces
- 18 Offices

2.4.8. Proposed Use: Business Incubator for Start-Ups

This use was inspired by the Engine Shed in Bristol, with the main hall (RG07) operating as a meeting space and café and the smaller units on the ground and 1st floors operating as individual offices and conference rooms.

2.4.9. Proposed Use: Microbrewery with Bar & Commercial Kitchen

Inspired by the Juke Joint, the size and height of RG07 would provide an amazing space within which a microbrewery and restaurant could operate, with a commercial kitchen being housed in RG01.

2.4.10. Proposed Use: The Main Hall as a Wedding Venue/Filming Location/Exhibition Space/Pop-Up Market

Within this proposed use the main hall would provide a flexible space that could operate as a wedding venue, filming location and exhibition space, with the ancillary rooms on the 1st floor and basement operating to aid in their operation. For example, RF01 would be used as a space to hold a wedding ceremony.

2.5. WESTGATE HALL: MICROBREWERY WITH BAR, RESTAURANT & CONFERENCE CENTRE

(Refer to Appendix G: Proposed Use – Microbrewery with Bar, Restaurant and Conference Centre)

Following discussions between Invest SK and the HSHAZ board, it was decided to proceed with the proposed use of Westgate Hall as a microbrewery with bar, restaurant, and conference centre facilities.

Below is a summary of the proposed use of the Hall, separated into the individual rooms/units. For the full description of the proposed use, refer to Appendix G.

RG07: Microbrewery, Bar & Restaurant

The main hall at the rear of the property on the ground floor would house the main facilities of the proposed use, with the microbrewery facilities housed either to the rear of the hall or acting as a soft separation between the bar and restaurant facilities.

RG04: Beer Shop

This unit is the ideal size for a beer shop and with a separate entrance onto Westgate, it can operate separately from the main use of the Hall.

RG01: Commercial Kitchen

Once the mezzanine is removed, this double height room is the perfect size to house a commercial kitchen, with access to RG07 for food to be taken to the restaurant and a separate entrance onto Westgate for deliveries.

There may also be access to the basement (RB07) that is currently blocked off. This basement room would provide staff facilities and storage for the kitchen.

RF01: Conference Centre

Due to its size and height, this first floor room would act as a conference centre or meeting room to be rented out daily.

RF02: Meeting Room

A smaller room, this could be used as an office for the tenants of the hall or as a smaller meeting room/office to be rented out daily.

Basement

The various basement rooms would act as ancillary storage and staff space for the main use of the hall, as well as providing two large rooms for the local archives to be housed in.

2.6. VALUATION REPORT

(Refer to Appendix H: Valuation Report)

The full valuation report (provided by Innes England, the commercial valuer) sets out in detail their valuation of the property in its current condition, examples of similar properties and their value, and the market value of the property once repaired in relation to its proposed use.

Below are listed the market valuations of the property in its As-Is and In-Repair conditions, as well as the proposed cost of repairs detailed in the Quantity Surveyors Cost Plan.

Market Value – As-Is:	£185,000 Exc. of VAT
Full Cost of Repairs:	£468,729 Exc. of VAT
Market Value – In-Repair:	£325,000 Exc. of VAT

Appendix A

Condition Survey and Schedule of Required Conservation Works Westgate Hall



Conception Architects

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1. INTRODUCTION

1.1 Project Background

South Kesteven District Council (SKDC), in collaboration with Historic England and InvestSK, have brought forward proposals for an options appraisal to repair, conserve and re-use Westgate Hall, Westgate, Grantham (centred on National Grid Reference SK 91305 35880), originally constructed as a Corn Exchange in 1852. Since this time, it has been through several different uses, most recently as a nightclub, before being vacated approximately two years ago.

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1.2 Site Location & Topography

Westgate Hall is situated on the eastern side of Westgate, a thoroughfare that runs through the middle of Grantham Town Centre and the Market Place. Once a commercial centre, the 19th and the early 20th Centuries saw the 'commercial centre' gradually expand which included the High Street becoming the primary retail street within the town, with Westgate becoming secondary.

The latter part of the C20th saw Market Place and the adjacent areas suffer from a decline in retail footfall, little investment, and unsympathetic alterations to the historic building stock.

2. METHODOLOGY

2.1 Aims & Objectives

The aim of this document is to produce a Condition Survey to inform the future strategy of consolidation, repair and conservation in line with the ongoing options appraisal. The objectives of this report can be summarized as:

- To identify any elements of the building which would benefit from repair, consolidation or reinstatement works.
- To assess the validity of reinstating historic architectural elements based on an appraisal of historical photographs and architectural drawings.
- To provide options for ways in which to sympathetically introduce new architectural elements designed to provide long-term protection of the building.

2.2 Methodology

This report was written following a site visit during which time a full condition and photographic survey was completed. All bar one room on the ground floor was accessed during the initial visit. Since that time, the previously inaccessible room has been photographed and surveyed.

2.3 Assumptions & Limitations

The information provided by this assessment reflects the condition of Westgate Hall and the extent of the required repairs at the current time, with no consideration to any works required to for a proposed re-use of the Hall. Should future repair works be required, an updated survey should be undertaken to assess any new or cumulative damages to the structure.

3. THE WESTGATE FRONTAGE

3.1 Masonry & Building Platform

Condition

At ground-floor level the bases of the 6 columns have been worn down and damaged. The stone/concrete platform that the Hall sits on is stained and has vegetation growing from it at the junction with the Hall itself. Most of the elevation has been cleaned prior to the start of this project.

The top cornice that is hiding the box-gutter has green staining and vegetation ranging along the whole width of the building, most likely due to a damaged/blocked gutter. The arched pediments of the 1st floor window are similarly stained due to the blocked gutter above. The stone cornices running below the 1st floor windows and in-between the ground floor windows are suffering from weathering and water damage to a lesser degree.

There are various small holes and sections of damage where inappropriate fixtures have been attached the frontage, though once these are removed it may cause more damage repairing them than leaving them as is.

The entrance portico/recess to the main door is covered in pigeon faeces and the stone surrounding all three doors and glazing is stained.

Required Conservation Works

All vegetation and staining is to be carefully cleaned from the stone/concrete building platform and the bases of the six columns, using an approved method that will not damage the stone beneath. Following their cleaning, the Conservation Officer and Architect are to confirm whether the column bases are to be repaired or left in their current condition, as any attempt to repair them may cause further damage.

Following any necessary repairs to the rainwater goods the stone cornice hiding the box gutter is to be cleaned and repaired as required. The arched pediments over the 1st floor also have some mild staining from the rainwater gutter above and are to be cleaned via the approved method. The stone cornices running beneath the 1st floor windows and in between the ground floor windows are to be carefully cleaned and assessed for repairs. As the weathering is limited it may cause more damage to repair rather than preserve them.

All modern fixtures and fittings (including the two alarm boxes and the wiring evident on the front elevation) are to be removed and the wall beneath inspected for damage. If necessary, any repairs are to be made.

In the entrance recess/portico all faeces and debris are to be cleaned and removed from the floor and from the masonry and stone details surrounding the three doors. Following this, the various stains are to be carefully cleaned to not cause any undue damage to the stonework beneath.

3.2 Side Elevation - North

Condition

The masonry of the north elevation is suffering from water damage and staining, most likely a result of damaged valley/box gutters behind the parapet wall. The coping stones running along the top of the wall are also spalling/damaged.

Required Conservation Works

Following the repair of the rainwater goods behind the parapet wall, the entire elevation is to be carefully cleaned using the approved method, so no further damage is caused to the masonry beneath.

Following the approved cleaning the coping stones running along the top of the wall are to be assessed to see if they require repair. The damage appears to be limited to weathering, so once the rainwater goods are repaired and any ongoing damage is ceased it could be appropriate to leave the coping stones in place.

3.3 Side Elevation - South

Condition

The stonework of the south elevation is showing various signs of weathering and spalling above the level of the brickwork chimney. It appears the pointing is also receding over most of this area as well. The coping stones are in a better condition than the north elevation, though are still suffering from a small amount of spalling.

The brickwork of the chimney is suffering in a similar fashion as the stonework above it. The bricks themselves are in relatively good condition, but the pointing of the top-most section is receding.

Required Conservation Works

A high-level survey will be required to determine whether any individual stones require reinstatement beneath the coping. The worst of the weathering appears to be limited to 3-4 individual stones, with the rest of the damage limited to minimal weathering. The entire upper section of stonework is to be repointed with an appropriately specified mortar.

The brickwork of the chimney is to be inspected to ensure the existing mortar is appropriate before the topmost section of pointing is carefully dug out to an appropriate depth and repointed.

3.4 Windows

Condition

On the ground floor, the left-hand arched window has been covered externally and cannot be surveyed. The window on the right-hand side has been boarded internally. The timber frame and glazing bars are modern and inappropriate, though appear to be in good condition.

The stone surrounds and detailing for the 1st floor windows are in good condition and have previously been cleaned with the rest of the elevation. The internal and external surveys of these windows has confirmed that their timber frames of the lower sections (the top sections of all three windows being obstructed) are in poor condition and not of the same period as each other. It appears inappropriate windows have been installed on at least the central and right-hand (when viewed externally) windows.

Required Conservation Works

Following the removal of the covering over the left-hand window on the ground floor the window is to be inspected and most likely removed (if inappropriate). As the right-hand window is inappropriate it is also to be removed. Two historically appropriate windows can then be designed and installed to suit the architecture of the Hall.

Following confirmation from the Conservation Officer that they are inappropriate, the windows on the 1st floor are to be removed and reinstated with appropriate timber framed windows.

3.5 Doors

Condition

The west-facing main door to the Hall is in relatively good condition, though is suffering from several layers of paint and there are some signs of damaged timber. The glazing in the arched surround has also been obstructed.

The doors flanking the main entrance are in poor condition, both having been hurriedly painted. Both doors have different detailing although they appear to be appropriately historic, though not original. There is a large timber panel obstructing the top section of the door and all the glazing surrounding the door has been obstructed.

The survey of RG04 revealed that the door has been horizontally cut in half and is beyond repair.

Required Conservation Works

The main west-facing door is to have all paint carefully cleaned from it using the approved method before any timber repairs are made. Once complete the set of doors are to be finished in an appropriately specified paint.

Both flanking doors are to be removed. As the door to RG04 is beyond repair it is to

be removed from site. The door to RG01 is to be cleaned of all paint and repaired, as necessary.

All obstructions are to be cleared from the glazing surrounding all three doors before they are all inspected and if necessary, repaired and/or reinstated.

3.6 Rainwater Goods

Condition

As previously mentioned, the heavily stained cornice containing the box gutter implies that it is severely blocked and/or damaged no matter its outward appearance. The green staining behind the downpipes also suggests it may need to be repaired.

The downpipe on the left-hand side of the elevation appears to be in good condition with no obvious damage or blockages, though the staining on the masonry behind implies that it is defective. The lower section of the right-hand downpipe is severely damaged and is bulging out, suggesting a large blockage. Above this point the downpipe appears to be in good condition.

Required Conservation Works

A high-level survey will be required to confirm the extent of the damage to the box/valley gutter. Once confirmed, it is to be cleared of all blockages and repaired by an appropriately qualified specialist.

The obviously damaged section of the right-hand downpipe is to be removed from the point of the blockage down. The rest of the downpipe is to be inspected for damage and blockages and repaired, as necessary. The section that has been removed is to be reinstated with downpipe to match the existing.

The left-hand downpipe is to be inspected for damage and blockages and repaired as required.

4. REAR ELEVATION

4.1 Masonry

Condition

The masonry of the shallow ground floor extension in the rear yard is a blend of different materials, including stone and brick. The wall surrounding the double doors from RG07 have been extensively repaired in modern red brick. Although not attractive there does not appear to be any significant damage. The ground floor extension has also been extensively and poorly repointed with what appears to be an inappropriate cementitious mortar.

There are green stains running down one side of this elevation and vegetation growing from it, giving evidence that the rainwater gutter is damaged and/or blocked.

On the first floor, the masonry of the gable end is in better condition, constructed in the same type of brickwork throughout, and with limited examples of spalling or damaged bricks. The lower half of this level appears to have been repointed previously and may have been done so using a lime mortar. Above this level the mortar is visibly receding and will require repointing

Required Conservation Works

For the purposes of this survey and as the rear yard is not public facing, we will assume that the blend of different masonry materials and styles can be retained.

All green staining and vegetation is to be removed/cleaned from the ground floor extension so as to not damage the masonry beneath. All cementitious mortar is to be dug out to an approved depth and reinstated with an appropriate mortar of the approved specification.

At first floor level the previously completed repointing is to be confirmed as appropriate and left in place. Above this level where the mortar is receding the masonry is to be repointed with an appropriate mortar.

4.2 Windows

Condition

There are no windows on this elevation. There is a square metallic grill on the gable end with a pipe running diagonally down left from the bottom right corner of the grill. There is a rectangular metal plate is fixed above the grill and to the left of the plate is an aerial.

Required Conservation Works

The square grill and the pipe are to be investigated to determine their use. If the pipe is redundant it is to be removed. All other fixtures are to be removed and the masonry beneath repaired.

4.3 Doors

Condition

The only door/s on this elevation are the set of double doors that form the fire exit. These appear to be in good condition.

Required Conservation Works

The doors are to be inspected for damage. As they will most likely need to be retained as fire doors, they are to be repaired as needed rather than reinstated.

4.4 Rainwater Goods

Condition

The rainwater gutter and downpipe to the ground floor extension are modern, inappropriate, and staining on the elevation suggests they are damaged.

No rainwater goods can be identified from ground level on the gable end. A high-level survey will be required to identify the extent of any good present.

Required Conservation Works

The existing modern rainwater goods are to be removed and reinstated with traditional cast-iron rainwater good to match those on the Westgate elevation.

5. INTERNAL – GROUND FLOOR

5.1 RG01

Condition

This large west-facing room has had several modern interventions. The most noticeable addition is a mezzanine floor that covers approximately half of the room. Beneath the mezzanine the walls have been finished with modern plasterboard and wallpaper, and the right-hand side (as you enter from RG07) has been divided into cubicles and been finished with the same plasterboard and wallpaper.

The reveals of the large arched west-facing window have been finished with plasterboard, along with the addition of a modern seating area/timber box beneath the window itself. The window has been covered with timber boarding.

The historic detailing of the external door and its surroundings appear to be in good condition, though it also suffering from some modern additions. The door itself and the flanking windows have been boarded over to prevent vandalism. A curtain heater has been installed over the door.

The false window on the south has had modern lights fitted on either side and has peeling wallpaper down its full height. There are various examples of cable trunking throughout the room.

The entirety of the floor has been covered with timber boarding. The removal of a section of the boarding revealed the historic timber floorboards beneath.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

All modern plasterboard and wallpaper is to be removed, including from beneath the

mezzanine floor and the window reveal. All timber hoarding is to be removed and the glazing beneath inspected for damage. The modern mezzanine floor and access stairs are to be removed and any effect they have had on the surrounding walls is to be repaired.

The current flooring is to be removed and the historic floorboards beneath are to be inspected for damage. Any necessary repairs are to be made.

All modern light and HVAC systems are to be carefully removed, along with their associated wiring and trunking systems.

Following the removal of all modern interventions, any damage they have made to the walls, floor and ceiling are to be repaired as appropriate.

5.2 RG02 & RG03

Condition

These two rooms were originally one and have been separated and decorated to provide a 'modern' entrance for the Hall's last use (a nightclub). All original walls have been painted black, and a false timber wall with display shelving has been installed on the left-hand (north) side of RG02. A timber separating wall with modern double doors has been installed that divides the two rooms. A curtain heater has then been fitted over these doors.

A false ceiling has been installed beneath the historic one and been fitted with modern spotlights. Modern doors have been fitted to access RG01, and then been blocked off from the RG01 side, as the previous use of this room was separate from the nightclub. The large arched entrance into RG07 has been fitted with another partition wall and accompanying modern double doors. This appears to have been fitted without causing damage to any historic detailing.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

All modern partition and false walls are to be carefully dismantled and removed, along with all modern doors. The false ceilings are to be carefully removed to limit any damage to the historic ceiling above it. Once all modern interventions are removed, the black paint decorations is to be cleaned from the wall via an approved method to not cause any further damage to the historic surfaces beneath.

5.3 RG04

Condition

This unit is separate from the main body of Westgate Hall, with its only entrance external. Previously utilised as a cloakroom when the Hall was a nightclub, it still has all the associated fixtures and furniture. The window on the west elevation has been

covered over and all four walls have been painted black. A modern false ceiling has been installed beneath the historic one and the floor has been covered with carpet. The initial condition survey did uncover the historic timber floorboards still in place beneath the existing carpet.

The existing door has been horizontally cut in half and its lower half has been fitted with a small shelf.

Required Conservation Works

The false wall on the west wall (covering the window), the partition wall that has been installed in the centre of the room, the false ceiling and all cloakroom fixtures and furniture are to be carefully dismantled and removed. The carpet floor finish is to be taken up, ensuring no damage is done to the floorboards beneath, and disposed of. The damage done to the door by cutting it in half is irreparable and it is to be removed.

Following the removal of all modern interventions the existing paint finish is to be carefully cleaned from the. All historic surfaces are to be carefully inspected for damage and then repaired as appropriate. An appropriate door is to be reinstated.

5.4 RG05 & RG06

Condition

Used as an access point for the stairs to the 1st floor and the basement, RG05 has retained most of its original detailing, including the stairs to the 1st floor. One of the largest issues is the cables and wiring that circle the room. All walls have been decorated either black or red/orange.

The tall arched doorway into RG07 has been fitted with a modern door and frame, and the fanlight has been boarded over. The doors through to RG03 and to access the basement stairs appear to be modern as well. A stand-alone sink with accompanying water heater has been fitted by the door through to RG07, a fixture that was used by members of staff when the Hall was used as a nightclub. A large unidentified solid fixture sits by the door to RG02.

RG06 houses what appears to be the wiring centre for RG07. The walls have been finished in the same fashion as RG05 and are in poor condition. The ceiling finish in RG06 is also in extremely poor condition, with some sections removed and a large section by the door suffering from water damage.

The floor to RG06 is covered with rubble. The floors of both rooms are of solid construction and in good condition.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

Due to the haphazard wiring system that has spanned several generations of

installations, it is recommended that all wiring and cables are carefully removed right back to the wiring centre.

The stand-alone sink, accompanying water heater and waste system and the large fixture by the door to RG02 are to be carefully removed from site and disposed of. All rubble is to be cleared from RG06.

All three doors are to be removed, including the accompanying modern frame for the door through to RG07. Appropriately traditional doors can then be designed and installed to replace them.

Once all modern fixtures and rubble have been cleared, all modern paint can be carefully cleaned from the walls of both RG05 and RG06, any damage to the walls can be repaired.

The ceiling finish in RG06 is to be completely removed and the structure beneath inspected for water damage. Once repaired an appropriate ceiling finish is to be reinstated.

5.5 RG07

Condition

This is the largest area of the entire Hall. The whole room has been painted black, from ground level to the apex of the trussed ceiling. Although most of them have been removed, there are still various mirrors fixed to the walls around the perimeter of the room.

At approximately 2 metres above ground level a large timber framing system has been installed along both the north and south sides of the room, presumably to house the huge number of wires and cables. A closer inspection will be required but it does not appear as though much, if any, damage was done to the original detailing to construct these frames. There is a huge number of cables and wires that span the length of the entire room, and several HVAC systems fitted on the timber frames or to the roof/elevation. Modern lights have then been fitted to the corbels supporting the arched ceiling timbers. Although most of the historic detailing has been left intact, the stone cornice that runs around one of the stone piers on the north side of the room has been badly damaged.

There are two historic fireplaces on the south side of the room that have also been inappropriately painted and are suffering from a small amount of damage, though can be repaired. On the far (east) side of the room, large modern double doors and accompanying timber frame have been fitted to access the fire doors to the rear yard.

The basement beneath spans a short way into RG07, after which the floor is solid. The original floor has been completely removed and an inappropriate suspended timber floor has been installed in its place.

In the trussed ceiling above there are 12 x hexagonal roof windows that have been completely boarded over and painted in line with the rest of RG07. There is damage to

the boarding over some of the windows (primarily on the south side), and water on the floor indicates damage to the windows themselves. At various points around the room there are signs of water ingress in the form of damaged plaster and floor finishes. These are most likely because of the damaged roof windows, though this will need to be clarified.

The individual timber trusses are largely in good condition, though there is one that is showing a small amount of rotting/damage close to the junction with the viewing balcony (RF05).

There are a set of WCs that branch off RG07 in the south-west corner. These are still decorated in line with the nightclub's aesthetic and have been neglected since it was last occupied.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

All wires, cables and modern electrical (HVAC and lighting) systems, mirrors and modern doors and frames are to be carefully removed and disposed of.

The timber boarding covering the 12 x hexagonal roof windows are to be removed and the windows beneath inspected for damage and summarily repaired.

The entire floor covering is to be removed, being careful when removing the suspended floor over the basement. A historically appropriate flooring system can then be specified and installed by an experienced specialist, following any repair works to the floor structure itself.

All wall and ceiling decoration/paint is to be carefully cleaned to not further damage the material beneath. Any required repairs are to be completed as required, including the small amount of identified damaged stone on the two fireplaces. Any wall finish that has been damaged due to water ingress is to be carefully removed and the substructure inspected to ensure it has not been damaged as well. Any removed wall finish is to then be reinstated as required.

6. INTERNAL – 1ST FLOOR

6.1 RF01

Condition

This double-height room commands the first floor is in relatively good condition. The three windows are in varying states of poor condition, exhibiting damaged and rotting timber. The bottom section of the central window on the right hand-side has been damaged and boarded over. This may have been to fit a light that is currently on the floor by the window. The left-hand and central windows are a different design to the right-hand window and appear to be inappropriate. The top sections of all three

windows have been covered over and cannot be surveyed. There is an approx. 1m length of cornice directly above this window that has been removed.

The door to access RF03 appears to be historic though it is not in great condition. Directly above it is a modern light fixture and curtain heater. The door through to RF02 may also be historic and is also damaged.

The entire room has been decorated in the same fashion as RF03, the stairwell, RG05, RG06 and RG02. The paint is flaking from the walls in some places, and there are some areas of plaster that are damaged on the north elevation, most likely as a result of water ingress from the damaged rainwater goods previously identified.

The fireplaces on either side (east and west) if the room are in good condition, though will need to be inspected once all decoration is removed. The existing floor finish is modern and is covering the historic floor beneath.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

Following confirmation from the Conservation Officer, the left-hand and central windows are to be removed and reinstated with appropriately historic replacements to match the right-hand window. The central window on the right-hand side is to be repaired. Once the covering has been removed from all three top sections, they are to be inspected and repaired, as necessary.

All modern lights, HVAC systems and wiring/cables are to be carefully removed and disposed of. Once all modern fixtures are removed the walls and ceilings are to be cleaned of all paint finish, ensuring not to damage the historic surfaces beneath. Once removed, any repairs are to be made as appropriate. The areas identified as damaged via water ingress are to be inspected and the plaster removed as required.

The existing timber/carpet floor finish is to be carefully removed and the historic floor beneath inspected to confirm the presence of any damage. Any repairs are then to be made, as necessary.

6.2 RF02

Condition

This smaller room off RF01 is in poor condition. The door through to RF03 has been removed and blocked off, though the historic door frame appears to still be in place. The wall and ceiling surrounding the east-facing window is in extremely poor condition, with a modern timber frame and decking installed. The window itself is in good condition though it is angled precariously suggesting there is structural damage present.

An old broken heating fixture is fitted against one of the walls and a modern radiator is fitted against another. The floor itself has been covered with a type of boarding which

once removed showed that the historic timber flooring is still in place and appears to be in good condition.

There is a large hole in the ceiling and at another point a system of wires protrudes through before being cut off in the room. The entire room has been decorated in a similar fashion to other room identified, and a modern set of shelves has been fitted against one wall.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

Firstly, all modern fixtures and fittings are to be removed and disposed of, including the broken heater, radiator, shelves, wires/cables, and timber framing surrounding the window. The broken cupboard by the door through to RF01 is to be dismantled and disposed of.

Following any structural repairs (specified by the appointed Structural Engineer), the floors, walls and ceiling surrounding the window are to be repaired and reinstated. The existing hole in the ceiling and the holes left behind by the cables are to be repaired in a similar fashion.

The existing floor covering is to be removed and floor beneath inspected to ensure it is all in as good condition as the section that was uncovered during the survey. If any sections are damaged or have been repaired inappropriately, they are to be removed and reinstated as required.

All wall and ceiling paint is to be carefully cleaned from all surfaces to not cause any further damage before any necessary repairs are made and a suitable finish applied.

6.3 RF03

Condition

RF03 acts as a hallway/corridor to access RF01 and RF02. This area is in good condition, with one issue being the decoration. The walls and ceiling have been finished in an inappropriate orange/red that is currently flaking from the surfaces. The timber floor appears to be historic/original, though there are pigeon remains and faeces covering it.

The doors to access RF04 and RFO5 appear to be historic and in good condition, though they have been decorated poorly, in line with the rest of the property.

The structural engineers survey through the loft hatch has confirmed that the timber rafters are damaged due to inadequate ventilation.

Required Conservation Works

The specification below includes the conservation works required to remove all modern

additions.

Initially all dirt and pigeon remain/faeces are to be swept up and very carefully removed by someone utilising the appropriate PPE.

Following the repairs all decoration/paint finish is to be carefully cleaned from all walls, ceilings, doors, and door frames, ensuring not to damage the surface beneath. Once any necessary repairs have been made, they can be finished with an appropriately specified paint/finish.

The timber rafters in the roof void are to be inspected by a roofing specialist and repaired as required.

6.4 RF04

Condition

Currently a WC, the fixtures, fittings, and decoration of this room are in poor condition. There are signs of water ingress and mould around the downpipe boxing.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

All WC fixtures and fittings (including tiles etc) are to be carefully removed and disposed of carefully. The walls and the ceiling are to then have all paint finish cleaned from them and any repairs made as appropriate. They can then be finished to the approved specification. The downpipe boxing in is to be removed and the wall behind inspected for damage.

Due to the size of the room and its location, it is recommended this is retained as a WC, so a new set of appropriate furniture can be installed.

6.5 RF05

Condition

The exiting viewing balcony appears to be in good condition, though it is currently covered in dirt/rubble. The railing that spans one side appears to be historic and is also in good condition.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

All dirt and rubble is to be cleared from the viewing balcony and then it is to be summarily inspected and any repairs made as required. All paint is to be cleaned from the railing and it is to be inspected for rust/damage and repaired, as necessary.

6.6 Stairwell

Condition

The stairs and accompanying balusters, handrails and newel posts are in remarkably good condition, though in need of cleaning and maintenance. The surrounding walls have also been painted the familiar orange/red.

The timber frame of the landing (from which you access RF05) is in poor condition and is chipped and separating from the landing itself.

The main issue is the stained-glass roof light above. Although the timber frame appears to be in good condition most of the glazed panels have been removed, most likely due to damage. The ceiling finish around the rooflight is cracking and will need to be inspected to ensure that it is safe.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions.

In conjunction with RF03, all pigeon remains, and faeces are to be carefully removed and disposed of. The stairs and accompanying banister components are to be then carefully cleaned using an approved method.

All existing inappropriate wall/ceiling paint finish is to be cleaned and the surfaces beneath are to be inspected for damage, with any repairs being made as required.

An appropriate specialist is to be appointed to make all repairs to the rooflight, including reinstating all damaged/missing glazing. The cracked finish around the rooflight is to be repaired as appropriate and the structure confirmed as safe.

7. INTERNAL – BASEMENT

7.1 RB01

Condition

RB01 is a disused room with an arched roof. The walls and ceiling are unfinished bare masonry with no noticeable damage. The floor is tiled with some instances of damage. There are some signs of water ingress that is to be inspected in a property of this age.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

All dirt and grime is to be cleaned from the walls, ceiling, and floor. Following this and confirmation from the Client and Architect that it is required, any individual bricks that

are damaged are to be reinstated with masonry to match the existing.

Any cracked/damaged floor tiles are to be removed and reinstated with tiles to match the existing.

The water ingress is to be inspected to ensure it is not causing any unexpected damage.

7.2 RB02

Condition

RB02 appears to have originally been an extension RB02. Historic masonry 'piers' that separate the two have been infilled with a partition wall and a modern door. A large section of the walls and ceiling have been plastered and/or painted, and a large desk takes up most of two walls. There are some signs of water ingress in the recess on the west wall that is to be inspected in a property of this age.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

For the purposes of this schedule, we will leave the partition wall and modern door in place. The desk is to be dismantled and removed. The walls, ceiling and floor are to be cleaned of all dirt and grime and checked for damp ingress. Any cracked and/or damaged tiles are to be removed and reinstated with those to match the existing.

The water ingress is to be inspected to ensure it is not causing any unexpected damage.

7.3 RB03

Condition

RB03 is a small room/cupboard separated from RB02 with a timber framed partition wall. This is the room where the electricity meter and fuse boxes can be found. The masonry walls and ceiling have been painted but not plastered.

There is water ingress around the electrical installations.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

For the purpose of this schedule, we will leave the partition wall in place as it act as an effective separation between the electric installations and a potential public area. The

walls, ceiling and floor are to be cleaned of all dirt and grime and checked for damp ingress. Any cracked and/or damaged tiles are to be removed and reinstated with those to match the existing.

The water ingress surrounding the electrical fixtures needs to be remediated so more serious damage is not caused.

7.4 RB04

Condition

RB04 is a large arched-ceiling room with a large piece of equipment and a disused safe stored inside, and a large mechanical fixture in a far corner. This piece of equipment then has several large metal pipes fixed to it. They appear to be permanent and possibly cannot be removed.

The walls and ceiling have previously been painted but this finish is in varying states of poor condition. The floor is solid concrete and is in good condition. There are several black bin bags of rubbish hidden in the small cubby hole beneath the stairs. There are various signs of water ingress throughout the room.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

The various loose pieces of equipment, the safe and the bags of rubbish are to be removed and disposed of appropriately. The large mechanical fixture and the attached pipes are to be inspected and removed if possible. This will require confirmation that their removal will not negatively affect the integrity of any other part of the building.

All dirt and grime is to be carefully cleaned from the entire room. The walls ceiling and floor are to be inspected for any serious damage and then repaired. The water ingress is to be inspected to ensure it is not causing any unexpected damage.

7.5 RB05

Condition

A large room separated from RB06 with a partition wall. Ranging along one wall are fixtures associated with a beer cellar (most likely when the property was a nightclub), with a large HVAC unit at the far end. The walls have been painted and all appear to be in good condition. The solid concrete floor also appears to be in good condition.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

All existing nightclub/pub fixtures (including the HVAC unit) are to be removed and disposed of appropriately. Once cleaned, the walls, ceiling and floor are to be inspected for damage and repaired, as necessary.

7.6 RB06

Condition

The largest of the basement rooms, RB06 is almost completely empty except for two large floor-mounted mechanical units with pipes and cables running to it. We can assume that these are associated with the pub/nightclub fixtures found in RB05. A large pipe runs along the far wall, and there is ledge that runs along the right-hand side of the room.

There are various signs of water ingress throughout this whole room.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

Once inspected and deemed safe, the floor-mounted units and their associated pipes and cables are to be carefully removed and disposed of. All other nightclub paraphernalia is to be removed and disposed of as well. Once everything is removed the entire room is to be cleaned and any damage repaired as appropriate.

The water ingress is to be inspected to ensure it is not causing any unexpected damage.

7.7 RB07

Condition

It appears that this room used to be used as a staff kitchen. The units are all sat on a raised deck. The walls have been covered with plasterboard and a false ceiling has also been installed. The plasterboard for the ceiling is in particularly poor condition surrounding the lighting fixture, suggesting there may be an issue with damp ingress.

A cupboard/storage area has been installed beneath the stairs (detailed in RB08 & RB09). A partition wall has then been installed in between RB07 & RB09.

Required Conservation Works

The specification below includes the conservation works required to remove all modern additions. For the purposes of this report the final use of the basement has not been decided so no additional finishes will be specified.

All the kitchen units, plasterboard covering the walls and false ceiling are to be removed in their entirety, exposing the historic surfaces beneath. The decking that the

kitchen units are standing is also to be removed if possible. This will need to be confirmed following an inspection.

Once all wall and ceiling coverings are removed the historic surfaces are to be inspected for damage and damp ingress and repaired, as necessary.

7.8 RB08 & RB09

Condition

RB09 is a single WC that is in poor condition. The walls and ceilings of both rooms have been finished in the same fashion as most of the rooms identified on the 1st floor. There are a set of stairs leading to the ground floor that have been boarded over so there is no access allowed in their current state.

Required Conservation Works

It will need to be confirmed whether the stairs are to be reinstated, meaning a new opening will be required after first identifying exactly where they come up on the ground floor.

The existing WC fixtures and fittings are to be removed and disposed of appropriately. The walls and ceilings are to be cleaned of their paint finish and the walls beneath inspected for damage and repaired as required.

7.9 RB10 & Stairwell

Condition

RB10 is the junction point for all rooms in the basement, it appears to be in good condition with no evidence of damage or wear. There are some areas where the paint has worn from the masonry, though this does not indicate any issues.

The stairs are in the same condition with no evidence of damage.

Required Conservation Works

Following a thorough cleaning of all grime and dirt, any repairs are to be made as required.

8. ROOF

8.1 Tiles, Structure & Windows

Condition

Only the southern aspect of the pitched roof can be surveyed, through the window in RF02. From what can be seen the slate tiles are in relatively good condition, with limited examples of cracks or other damage, though there is extensive evidence of weathering.

The structural engineers report has described the traditional timber roof structure as being in below-average condition and may require extensive repairs.

The roof windows (further detailed in RF07) have been shown to be extensively damaged, with various points of water penetration obvious internally. On the closest roof window (western-most on south aspect) one section of the hexagonal window has been covered with a black material that does not appear to be lead. It seems this material has also been used on other windows on their vertical sides.

Required Conservation Works

An experienced roofing specialist is to make a full inspection of the roof structure and materials and assess whether it can be repaired or is to be replaced.

Any damaged/missing tiles are to be reinstated with slate tiles to match the existing. The roof windows are to be inspected for the extent of any damage and repaired, as necessary. The material that has been used instead of lead flashing (if it is not lead) is to be removed and reinstated with Code 4/5 lead flashing. The roof structure, following the necessary specialist survey, is to be repaired/reinstated, as necessary.

8.2 Rainwater Goods

Condition

The lead-lined valley gutter does not appear to be overly damaged, though there is moss growing from the junction with the parapet wall, suggesting that it may not be draining away as well as needed. There are no downpipes that can be seen at this point.

Required Conservation Works

The valley gutter is to be inspected for damage and to determine the reason it is not draining away as well as needed and any repairs are to be made.

Appendix B

Photographic Survey to accompany Condition Survey

Westgate Hall



Conception Architects

GROUND FLOOR

RG01



Walls beneath mezzanine floor covered with plasterboard and wallpaper.



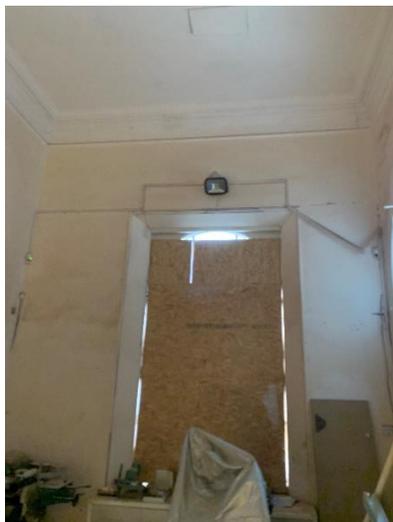
Partition walls, plasterboard, and wallpaper on right hand side of room beneath mezzanine floor.



External door and surrounding stone detailing and glazing.



False window with wallpaper and light fixtures.



West-facing window boarded over with timber boxing beneath.

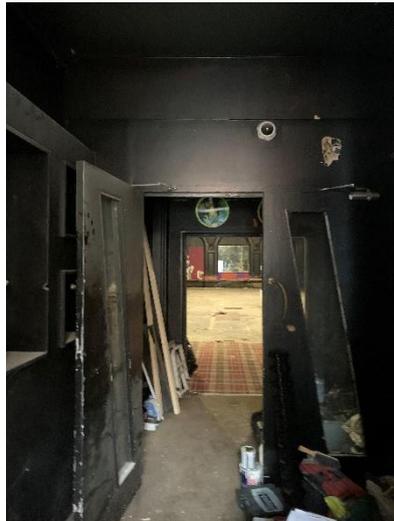


Modern mezzanine floor with stairs.

RG02 & RG03



False display wall on left hand side in RG02.



Modern partition wall and double doors between RG02 & RG03.



False ceiling in RG03 with blocked door through to RG01.

RG05 & RG06



Door through to RG07 with modern timber frame.



Door through to RG06 with rubble covering floor.



Wiring centre on right-hand side wall of RG06.



Ceiling of RG06 with badly damaged plasterboard.



Bottom of stairs leading to 1st floor with modern decoration on walls.



Door to basement and corner of stairs leading to 1st floor.

RG07



View of length of RG07 facing east. Mirrors around perimeter of room with blocked roof windows above.



North side of room with timber framing containing wiring and HVAC systems fixed above.



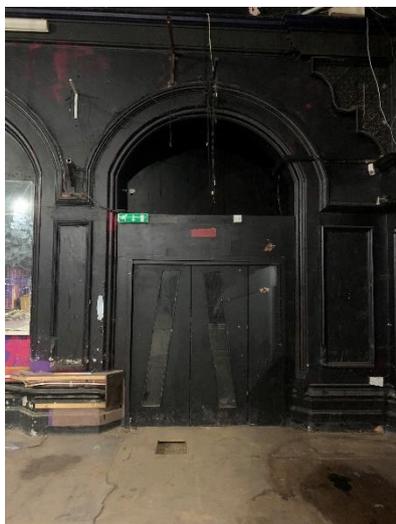
Right-hand side of room with wiring running between corbels and modern lights.



Hexagonal roof window boarded over.



Original columns supporting corbels for arched roof timbers.



Modern double doors leading to fire exist and yard at rear.



Original fireplace exhibiting signs of damage and modern decoration.



Modern bathrooms to rear of RG07.

FIRST FLOOR

RF01



View from north to south along RF01. Door to RF02 at far end.



Fireplace at north end of RF01.



Door into RF01 from RF03 with fan heater above.



Right-hand window with boarded lower-middle section.



Black painted ceiling with historic detailing.



Door into RF02 from RF02.

RF02



Window in RF02, angled suggesting structural issues. Modern timber framing around.



Hole in ceiling with modern light fixture.



70's/80's heating unit.



Damaged cupboard in corner of room.



Modern radiator with cable trunking. Door into RF01.



Doorway into RF03 boarded over with historic door frame still in place.

RF03 & Stairwell



Doorway into RF02 blocked with historic door frame still in place. Loft hatch above.



Intricate historic ceiling light with damaged/missing glazed sections.



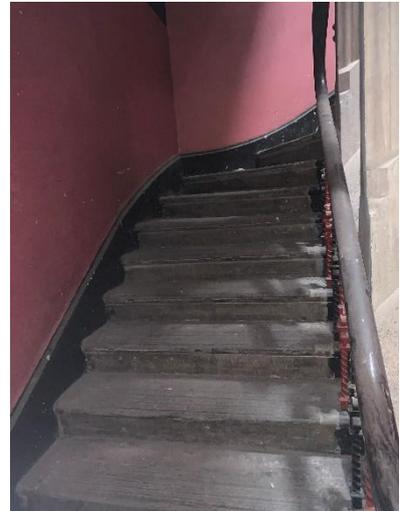
Historic stair banister and handrail. Door into RF05.



Landing before RF03 with pigeon remains.



Stone cornice running around stairwell.



Historic stairs to 1st floor.

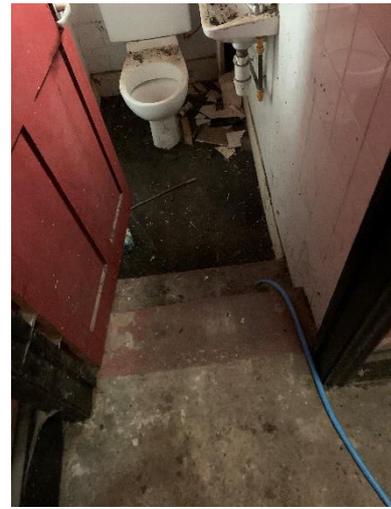
RG04



WC in RF04.



WC in RF04.



WC in RF04.

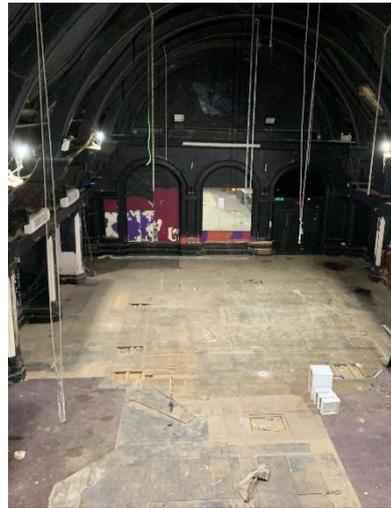
RG05



Doorway into viewing balcony (RF05).



Viewing balcony (RF05).



View from RF05 over RG07.

BASEMENT

RB01



Empty basement room.



Empty basement room.



Doorway into RB02 from RB01.

RB02



Desk and doorway into RB03 from RB02.



Recess in corner of room.



Desk and door into RB01.

RB03



Electricity meter into property.

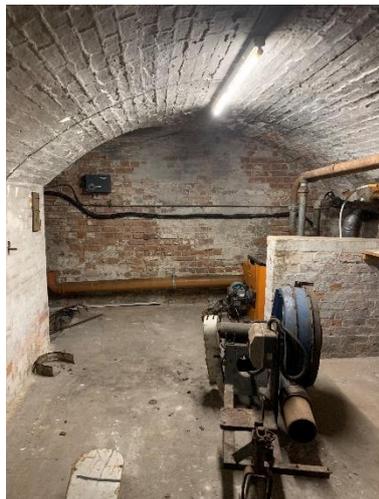


Partition wall between RB02 and RB03.



Opposite side of RB03.

RB04



Large metal equipment in centre of room.



Large floor-standing generator (?) in corner of room with network of pipes.



Safe in corner of room.

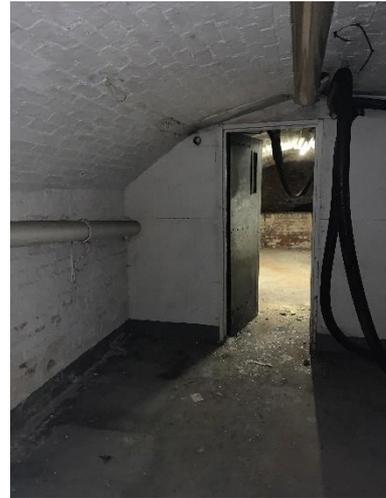
RB05



HVAC unit and metal pipe running along wall.



Pub cellar equipment ranged along wall.



Door into RB06 from RB05.

RB06



Two large floor standing pieces of equipment. Likely associated with previous use as nightclub.



Large platform at end of RB06.



Large pipe running along wall.

RB07



Kitchen units with false ceiling and finished walls. Staff kitchen previously?



Cupboard under stairs.



Doorway into RB08/RB09 from RB07.

RB08 & RB09



WC (RB08).



Stairs that have been covered over.



Damaged plaster finish.

RB10



Doorway into RB07.

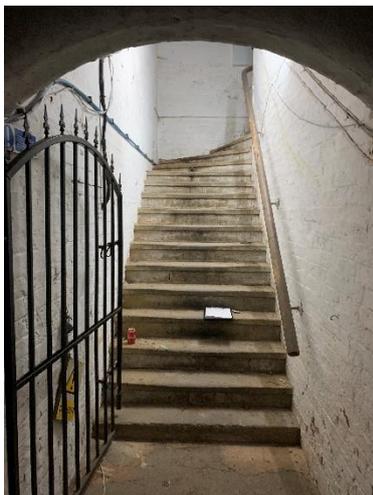


Area between RB07 and RB06.



Doorway into RB04.

Stairwell



Gate and stairs to ground floor.

Appendix C

Simplify Engineering Structural Report Westgate Hall



Conception Architects



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1) Introduction ó Client Brief

Simplify Structural Engineering LLP (SSE) has been appointed by Conception Architects to carry out a General Structural Inspection (GSI) and prepare a report including findings and recommendations at the above-captioned property. The property was inspected on Monday 1st February 2021.

The purpose of this report is to provide the client with information regarding the structural condition of the building.

2) Scope of the Structural Survey

The survey and inspection aims were to:

- ◁ Visually assess external elevations and accessible internal spaces
- ◁ Provide a report describing our observations and findings
- ◁ Make recommendations for further actions

This report is produced as a result of a visual, non-disruptive inspection of the above premises. Binoculars were used to inspect roof slopes, chimney stacks, and higher-level brickwork. I have not inspected the other woodwork, or any other inaccessible parts of the structure, which are covered or unexposed and I am therefore unable to confirm that these parts of the building are free from defects.

The engineer acknowledges the co-operation of the contractor in allowing access to the property at the agreed time and their assistance in the clarification of points raised during on-site discussions.



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3) Exclusions

- < Damp proofing, roofing, and waterproofing
- < Non-structural systems: electrics, plumbing, heating, non-structural plasters, paints, and renders
- < Not exposed, hidden, inaccessible structural elements

4) Client Details

Name of client: Conception Architects

Address of property inspected: Westgate Hall
Westgate,
Grantham
NG31 6LE

Project Reference: S2732

Date of Inspection: 01/02/2021

Weather: Sunny



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5) General Description

Westgate Hall is a Grade II listed building constructed in approximately 1852 and is originally thought to have been used as a corn exchange.

The frontage of the property is a two-storey structure constructed in a combination of traditional brick with a stone façade. All internal walls appear to be solid masonry with the first floor constructed using traditional timber joists. The ground floor construction is a combination of suspended timber flooring supported on sleeper walls or basement arches.

The main hall to the property is a single-storey structure with large feature timber trusses supporting the roof structure.

The property also has a basement which covers the extent of the front/entrance building along with part of the main hall itself. The timber suspended floor to the main hall and front/entrance building appears to be supported atop of the arched basement ceiling.

The property is constructed as follows:

- Main walls: Solid loadbearing masonry walls and limestone façade
- Internal walls: Solid masonry and stud walls with a plaster finish on both sides
- Roof: Traditional pitched slopes, with slates
- Floors: Timber suspended floors



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6) Observations and Findings

This section of the report gives evidence of the observations and findings during the inspection. Below is an overview of the photos found within this section.

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Photo 1 - Front Elevation



Photo 2 - Water Damage Stonework

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Photo 3 - Weathered Stonework



Photo 4 - Side Elevation

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Photo 5 - Defective Mortar Joints, Coping Stones & Weathered Stonework



Photo 6 - Side Elevation Showing Water Damage & Ingress from Defective Drainage

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Photo 7 - Roof Damage



Photo 8 - Roof Damage

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Photo 9 - Main Hall Overview



Photo 10 - Main Hall Ceiling Water Damage

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Photo 12 - Main Hall Ceiling Water Damage

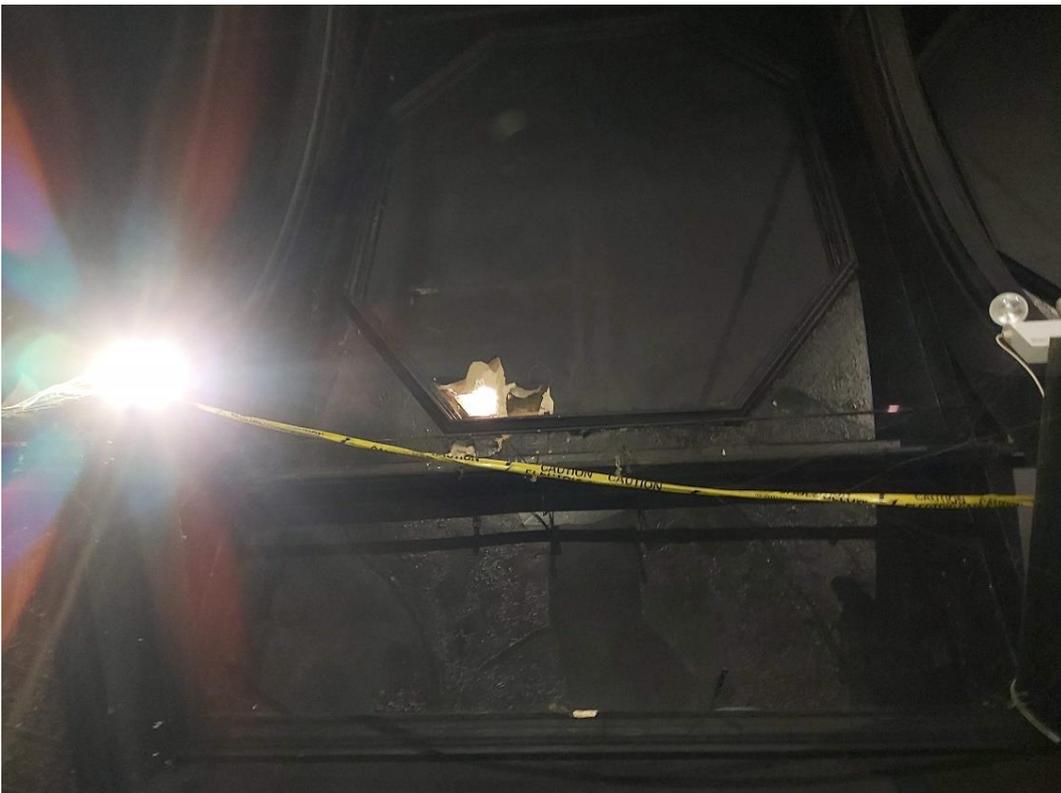


Photo 11 - Main Hall Ceiling Damage

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Photo 13 - Main Hall Timber Truss Damage



Photo 14 - Main Hall Masonry / Stone Pier Damage

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Photo 15 - Main Hall Masonry & Plaster Damage from Water Ingress



Photo 16 - Main Hall Masonry, Woodwork & Floor Damage From Water Ingress

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Photo 17 - Main Hall, Defective Subflooring



Photo 18 - Main Hall Existing Floor Construction / Damage

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Photo 19 - Main Hall / Stairwell Electrical Room Ceiling Damage

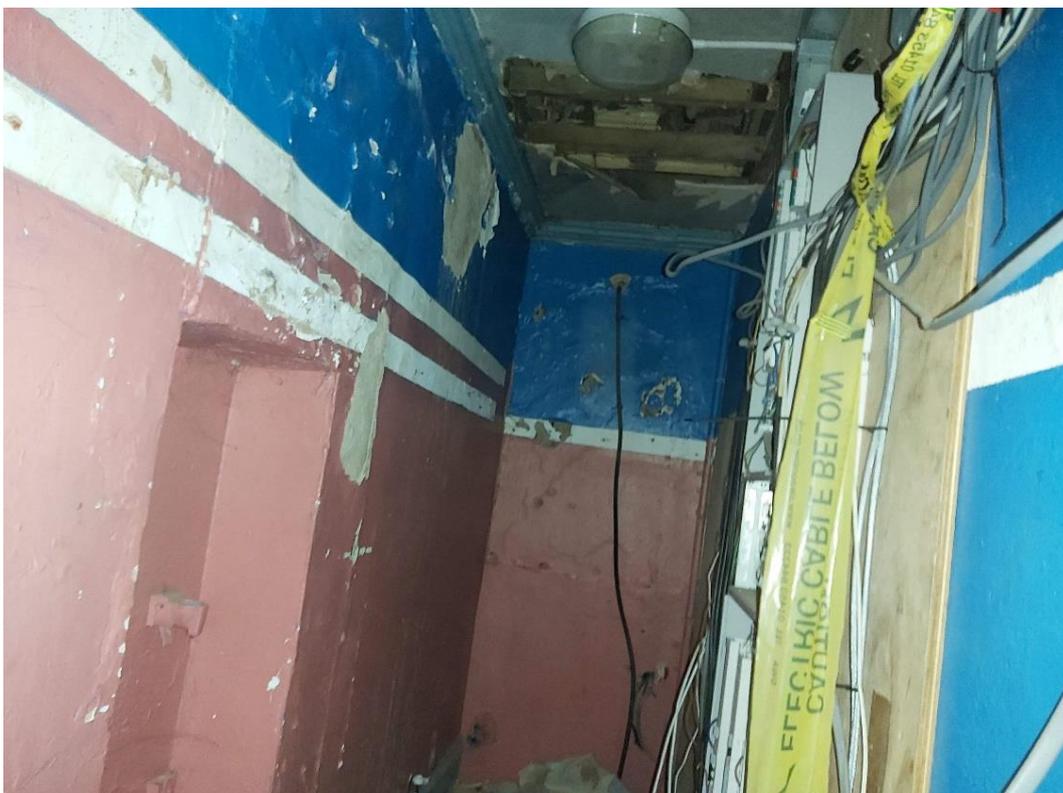


Photo 20 - Main Hall / Stairwell Electrical Room Ceiling & Plaster Damage

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Photo 21 - Main Hall / Stairwell Electrical Room Ceiling Damage From Water Ingress

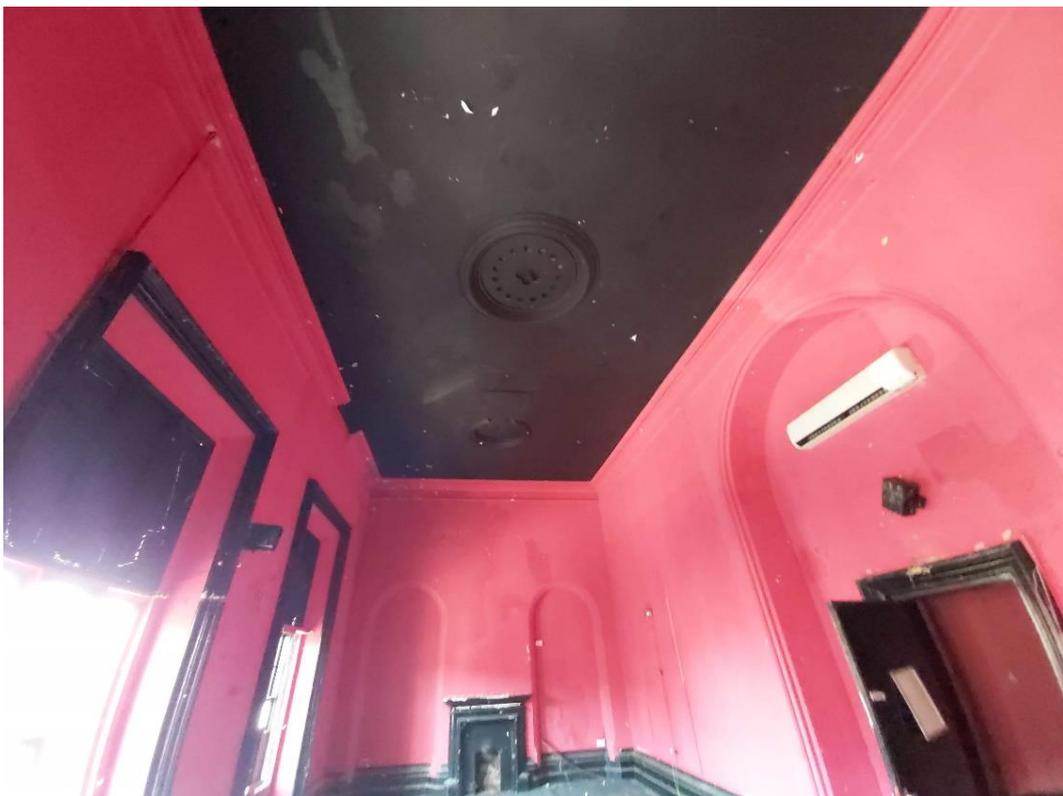


Photo 22 - First Floor Front Room Overview

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Photo 23 - First Floor Front Room Cracked Plaster & Signs of Damp / Water Ingress



Photo 24 - First Floor Front Room Cracked Plaster & Signs of Damp / Water Ingress

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Photo 25 - First Floor Back Room Cracked Ceiling Plaster



Photo 26 - First Floor Rear Room Signs of Water Damage to Woodwork

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Photo 27 - First Floor Stairwell Cracking Around Roof Light



Photo 28 - First Floor Hallway Signs of Water Ingress & Mould

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Photo 29 - First Floor Roof Void Damaged Rafters Due To Inadequate Ventilation



Photo 30 - Cellar Broken Screed Showing Floor Construction

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Photo 31 - Cellar Damaged Masonry & Defective Mortar Joints



Photo 32 - Cellar Signs of Water Ingress

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Photo 33 - Cellar Signs of Water Ingress & Damage to Masonry & Mortar Joints



Photo 34 - Cellar Signs of Water Ingress

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Photo 35 - Cellar Signs of Water Ingress

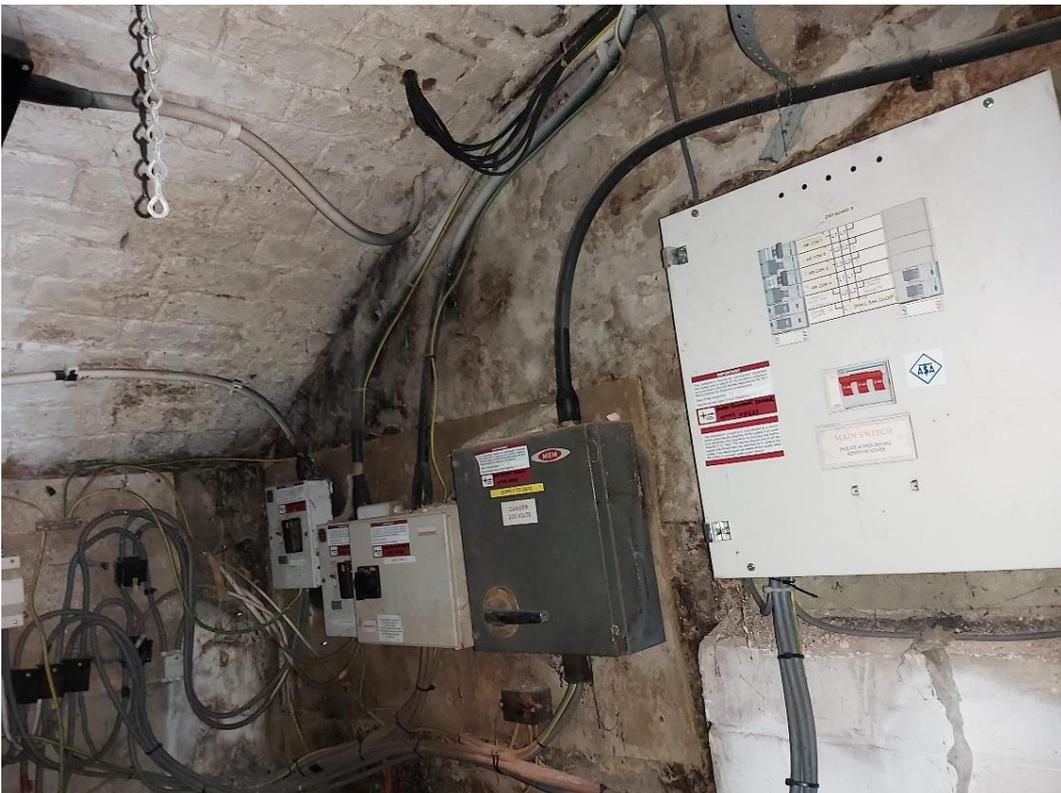


Photo 36 - Cellar Signs of Water Ingress Around Electrics

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Photo 37 - Cellar Ceiling Damage from Ground Floor Flooding



Photo 38 - Cellar Weak / Damaged Plaster Due to Water Ingress



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7) External wall elevations

The external elevations appeared to be in acceptable condition; however, weathered stonework, defective mortar joints and damaged brickwork were observed in several locations. The defects appear to be due to exposure to the elements, lack of maintenance repairs and defective water drainage. Signs of water ingress can be seen in many internal locations as illustrated on the inspection photos.

We also observed some defective stonework and coping stones along the top section building, some high-level access would need to be provided to establish the full extent of the defects.

Cracks appear for several reasons. They occur when the masonry bricks/blocks expand and contract over time with environmental changes. They can be caused when the foundations of the structure move. Some minor cracking occurs naturally and there is no need for concern or action although it is always worth monitoring them closely for any changes.

Generally, structures with shallow foundations, and in areas with clay soil, are susceptible to shrinkage and heave due to varying moisture contents of the soil within the ground. During dry seasons, the lack of moisture within the ground causes clays to shrink leaving potential voids within the profile of the ground. During seasons of heavy rainfall, the ground re-saturates causing the ground to swell which can add increased pressure/heave onto foundations and retaining structures. This fluctuation in ground movement can result in cracks closing and appearing. The process continues over a yearly cycle with the clay continuously shrinking and swelling.

The cracking observed during the site inspection, in structural terms, does not appear to provide evidence indicating active settlement or movement of the primary structure but extensive maintenance repairs are required.



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8) Internal walls & ceilings

The internal walls of the structure are covered with paint and plaster. The internal finishes are in poor condition due to water infiltrations, lack of heating and inadequate ventilation.

There are various cracks in the plaster that were noticed during our site visit. These cracks and water stains indicate significant deterioration of internal plaster. The cracks observed will require removal and replacement of internal plaster, repairs to underlying masonry/timber, and replastering.

Photos 15 and 16 show water and damp damage to the walls within the main hall. The water/damp infiltration caused damage to the plaster and adjacent flooring. In order to repair it all defective plaster should be removed, underlying masonry repaired and replaster. Majority internal finishes are in a very poor state and full stripping out and replacement of finishes might be required. In addition to the plaster damage, the internal timber has been affected by the elements and once the finishes are removed, the timber should be inspected, treated, and strengthened as required. Some of the roof rafters and ceilings joists will likely require replacement.

Photos 19, 20, and 21 show damage to the internal stud wall that was constructed to house various electrical consoles. There are clear signs of water damage on the timber stud walls which also appear to have collapsed or been removed due to damp/rot. All finishes in this area should be stripped out and all timbers replaced. In addition, any masonry in vicinity may require repairs.

The cracking observed in Photos 23 and 24 are located in the front room of the first floor within the building. The cracked and damaged plaster appears to be a direct result of water ingress from the external gable wall. There are clear signs of water infiltrations throughout the building which are likely affected underlying timber structure and caused the deterioration. In order to assess full extent of damage sections of plaster would need to be removed in order to inspect the underlying structure.



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9) Floors

The general condition of the first-floor joists appear to be in acceptable condition but due to exposure to the elements, lack of heating and inadequate ventilation, some sections of the flooring are damaged and will require repairs or full replacement. In order to fully assess the condition of floor joists, subflooring on the ground floor and ceiling plaster on floors above will need to be removed.

The suspended timber floor for the main hall is in poor condition. It is unclear if the damage to the floor was due to historic water leaks or poor construction. It is recommended that the hall floor is to be replaced entirely.

10) Roof

The roof is a traditional timber construction and is in below-average condition. The roof slates illustrate signs of natural weathering throughout (loose/cracked/chipped in places). We observed several dislodged slates, extensive repairs are required, and a specialist roofing contractor should be consulted for further advice. There are several roof lights that are in very poor condition and appear to be sealed off from the inside. These roof lights will need to be replaced.

Photos 7, 8, and 12 show a number of locations where the roof has been damaged and outside light can be seen from the inside. Due to extensive roof defects, full roof replacement might be required. During the roof repair/replacement works a structural engineer and timber treatment specialist should be consulted to fully assess the condition of the roof structure.

Due to extensive damage of the roof timbers, it is recommended that a timber treatment specialist is consulted to further inspect the condition of the existing roof, floors, and ceilings.

The main roof trusses appear to be in an acceptable condition, however, in order to fully assess the structural integrity, the internal finishes and/or roof slates would need to be removed and high-level access scaffolding would need to be installed.



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11) Cellar

From inspection, the cellar appears to be in average condition. There are numerous signs of water ingress, however, due to the age of the property and the construction method of the basement, this is to be expected.

It is recommended to re-point all defective mortar and clean or replace defective masonry throughout the basement.

If the basement were to be converted for a habitable space, or commercial use, rather than general storage, water protection system would need to be installed (cavity drainage system or similar).



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12) Conclusion and Recommendations

The property appears to be in stable condition from the structural perspective, and we have not observed any significant active structural movement. If any new movement and/or cracking is found in the future, it should be reported to a Structural Engineer. The building requires extensive repairs and maintenance work.

We recommend the following repairs:

1. Scaffolding should be installed to conduct detailed inspection of all stonework and external masonry followed by removal of any loose sections, cutting out defective mortar joints and corresponding repairs
2. All roofs should be inspected by a specialist roofing contractor to establish if the repairs are feasible or if full replacement is required
3. All damaged plaster should be removed followed by inspection of underlying masonry and timber to establish if full plaster replacement is required and to determine the extent of underlying masonry/timber repairs
4. All damaged ground floor subflooring should be removed to allow detailed inspection of underlying floor structure
5. All rotten/significantly damaged timber should be removed and replaced
6. Timber treatment specialist should be consulted to inspect condition of internal timber
7. Defective mortar joints in the basement and along external elevations should be cut out and repointed
8. Any masonry cracks larger than 5mm should be repaired by installation of helical bars

Prepared by:
Daniel Barber
Project Engineer

Site Inspection and Checked by:
Rob Hardman, EngTech MICE
Structural Engineer

Site Inspection, Checked and Approved by:
Robert Szyborski, BEng(Hons), MSc, CEng MICE
Director - Chartered Engineer, Simplify Structural
Engineering LLP

Head Office:

 Leicester Office: 6 Frederick St, Units 6 & 7
 Wigston LE18 1PJ, Tel: 0116 452 0511
 E: info@simplifyengineering.co.uk

Property Address: Westgate Hall, Grantham				Job Ref. S2732	
Description: General Structural Inspection and Report				Page no. 30	
Prepared by: DB	Date: 09/03/2021	Checked by: RH/RS	Date: 12/03/2021	Approved by: RS	Date: 12/03/2021

13) Terms & Conditions

1. These Terms and Conditions are designed to clarify to the Client the scope and extent of the Survey and type of Report to be undertaken and prepared by Simplify Structural Engineering LLP, Chartered Engineers.
2. The Report will advise the Client as to the Engineer's opinion of the structural elements listed in 1. Instructions - Client's Brief and 2. Scope of Services and which are reasonably accessible subject to the under mentioned restrictions and conditions.
3. It must be pointed out that the Engineer cannot cause damage to someone else's property and, therefore, concealed parts of the building and structure will not be opened or disturbed. Parts of the building which are covered, unexposed or inaccessible will not be inspected and, as such, we will not be able to report or establish the condition in that location. The Engineer will inspect as much of the surface areas as is practicable, and will lift loose floorboards and trap doors where accessible, but will be under no obligation to raise fixed floorboards or to inspect those areas of the property that are covered, unexposed, or are not readily accessible. The Report will not intend to express an opinion about or to advise upon the condition of uninspected parts and should not be taken as making any implied representation or statement about such parts, nor will it list minor defects that do not materially affect the value of the property. Any such defects that may be referred to should not imply that the property is free from other such defects.
4. External inspections of chimney stacks and upper structures will be made if listed in 1. Instructions - Client's Brief and/or 2. Scope of Services and where possible and practical from above or by using a 3.0m telescopic ladder. In the event of easy access is not feasible, binocular inspection will be made as an alternative.
5. Testing of rainwater goods such as gutters and valley gutters will not be carried out, this being beyond the scope of this Structural Survey. Obvious defects visibly apparent at the time of the inspection will be commented upon if listed in the Scope of Services.
6. If foundations are not exposed during the Survey and, therefore, we cannot comment as to the type, depth, and thickness of the foundations, nor are we able to determine the type of sub-soil conditions. Where cracking or distortion is evident in walls, the Engineer will comment and advise accordingly. Calculations to check the strength of the structural fabric will not be undertaken.
7. Fitted floor coverings and heavy items of furniture will not be moved and, therefore, a total overall inspection of the floor structure will not be able to be made. Access to the sub-floor will, however, be made where possible or practical, but will only be gained where access hatches or loose floorboards are made available. This with the express permission of the Vendor.
8. Specialist service tests can be arranged at an additional fee although, unless previously determined, no services tests will be carried out. General overall comments will be made as far as possible and practical. The Engineer will not be responsible for arranging the testing of services unless specifically instructed to do so.
9. Easements, Planning Proposals, and relevant Planning and Building Regulations Approvals are considered to be outside the scope of a Building Structural Survey, although general overall comments may be able to be made.
10. The Engineer reserves the right to reduce or increase the extent of the Survey according to the circumstances.
11. Unless otherwise expressly stated, in making the Report, the following assumptions will be made:
 - (a) that no High Alumina Cement Concrete, calcium chlorate additive, asbestos, or other deleterious or hazardous materials or techniques have been used and that it is impracticable to comment on the state of any wall ties.
 - (b) that the house is not subject to any unusual or especially onerous restrictions, encumbrances, or outgoing and that good title can be shown.
 - (c) that the house and its value are unaffected by any matters which would be revealed by a Local Search (or Search in Scotland) and Replies to the Usual Enquiries, or by a Statutory Notice, and that neither the property, nor its condition, nor its use, nor its intended use, is or will be unlawful;
 - (d) that inspection of those parts which have not been inspected would not reveal material defects.
12. The Report is provided for the sole use of the Client and confidential to the Client and/or their Legal Advisers. The Report is prepared with the skill and care expected of a competent, qualified Engineer, but accepts no responsibility whatsoever to any other person other than the Client. The Report should not be reproduced without express permission from Simplify Structural Engineering LLP. The Engineer will be under no duty to verify these assumptions.

Appendix D

Schedule of Repairs Westgate Hall



Conception Architects

WESTGATE ELEVATION

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Prelims	Scaffolding		In order to facilitate the required repairs, scaffolding is to be installed on all external elevations for the full height of the Hall.	/	/
	Hoarding		During construction/repairs, hoarding is to be installed where required.	/	/
Wall	Misc.		There are several cables that are to be disconnected and carefully removed. These cables are associated with the neighbouring properties so they will need to be consulted regarding their removal.	M	25.00
			There are two security alarms fitted to the stonework. These are to be disconnected and removed. If still required they are to be relocated.	Nr	2.00
	Pointing		The pointing over the whole elevation appears to be in good condition with no need for repairs.	/	/
	Stonework/ Concrete		Although there is some evidence of slight spalling to stonework in several areas, most of these can be left in the condition they are, as any attempt to repair them may cause further damage. The main area of concern are the bases to the columns. These are suffering from a worse degree of spalling than the rest of the elevation. If found necessary, these are to be repaired using the approved methods and materials.	Nr	6 x column bases
	Flashing		There is no flashing evident on the Westgate elevation.	/	/
	Vegetation		The vegetation growing on the building platform at the junction with the Hall is to be carefully removed.	/	/
	Staining		The previously noted staining on the stone cornice that contains the box/valley gutter is to be carefully cleaned of green staining so as to not further damage the stone.	M ²	3.50

Wall	Staining		The stonework behind the downpipes is stained green (likely as a result of damage to the downpipes). These stains are to be cleaned via the approved method.	M ²	7.00
			There are some minor stains on the arched pediments of the first floor windows. These are to be carefully cleaned.	M ²	2.00
	Staining		The staining at the bases of the six columns that range along the elevation and the stains on the building platform are to be carefully cleaned.	M ²	6 x column bases
Rainwater Goods	Gutter		The box gutter behind the stone cornice running along the top of the elevation has been identified as damaged due to the amount of staining on the cornice. This is to be inspected and cleared of all blockages. Any damage is to be repaired as required.	M	13.00
	Downpipe		The blocked/damaged gutter suggests the accompanying downpipes are blocked/damaged as well. Both downpipes are to be inspected for blockages and cleared as required. If required they are to be removed and reinstated with cast-iron downpipes to match the existing.	M	11.00
			The lower section of the right-hand downpipe is damaged and is to be removed and reinstated with a section of cast-iron downpipe to match the existing. Following the investigations any other damaged sections are to be removed and reinstated as well.	M	3.00
Windows & Doors	Windows		Each of the 5 windows on the front elevation have been detailed in the schedules of the rooms/units they relate to.	/	/
	Doors		The doors to RG01 and RG04 have been detailed in their relevant schedules. The main door into the Hall is historic and in relatively good condition. All signage and inappropriate ironmongery is to be removed and then all paint is to be cleaned from both doors. Any sections of damaged timber are to be repaired/removed and then new sections spliced in to match the profiles of the historic doors. New ironmongery is to be fitted to both doors (excluding the letterplate, which is historic), and the doors are to be finished with an appropriate paint.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

SIDE ELEVATION - NORTH

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Wall	Misc.		There are no miscellaneous items to note.	/	/
	Pointing		The pointing is visibly receding over several sections of the masonry. The remaining mortar is to be dug out to an appropriate depth and is to be reinstated with an appropriately specified mortar.	M ²	8.00
	Stonework/ Concrete		The masonry wall is to be inspected and any severely damaged sections of stonework are to be removed and reinstated in stone to match the existing. Although there are some obvious signs of weathering, no damage seems severe enough to require reinstatement.	Nr	0.00
			The coping stones running along the top of the wall are to be inspected and if found to be severely damaged are to be repaired/reinstated as required.	M	7.00
	Flashing		No flashing can be seen from ground level. A high-level survey will be required to determine the presence of any flashing.	/	/
	Vegetation		No vegetation can be seen from ground level.	/	/
	Staining		This elevation is stained at various locations, primarily running down from the coping stones on the east side. Any staining is to be carefully cleaned via an approved method so as to not cause any further damage.	M ²	12.00
Rainwater Goods	Gutter		Due to the water damage/staining noted on the north elevation the assumption has been made that the rainwater goods behind the parapet wall are damaged/blocked. A high level survey will be required to determine the extent of the damage before it is repaired as required.	M	7.00
	Downpipe		There no downpipes to be surveyed on this elevation.	/	/

Windows & Doors	Windows		There are no windows to be surveyed on this elevation.	/	/
	Doors		There are no doors to be surveyed on this elevation.	/	/

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

SIDE ELEVATION - SOUTH

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Wall	Misc.		There are no miscellaneous items to note.	/	/
	Pointing		The pointing is visibly receding over several sections of the masonry, both brickwork and stonework. This is to be reinstated with an appropriately specified mortar.	M ²	13.00
	Stonework/ Concrete		The stonework above the brickwork chimney is weathered/spalling and is to be inspected. If individual blocks are found to be severely damaged they are to be removed and reinstated with blocks to match the existing.	Nr	5-7
			The coping stones running along the top of the parapet wall are also weathered and slightly damaged. These are to be inspected and repaired as required.	M	7.00
	Flashing		No flashing can be seen from ground level. A high-level survey will be required to determine the presence of any flashing.	/	/
	Vegetation		No vegetation can be seen from ground level.	/	/
	Staining		There is very limited staining to this elevation as the rainwater goods do not appear to be as damaged as on the north elevations, and it may have been cleaned prior to this project. No cleaning required.	/	/
Rainwater Goods	Gutter		Due to the lack of staining on the elevation the box/valley gutter behind the parapet wall does not appear to be damaged/blocked. A high level survey will be required to confirm this.	M	7.00
	Downpipe		There no downpipes to be surveyed on this elevation.	/	/

Windows & Doors	Windows		There are no windows to be surveyed on this elevation.	/	/
	Doors		There are no doors to be surveyed on this elevation.	/	/

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

REAR ELEVATION

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Wall	Misc.		There are several inappropriate/disused items (metallic plates, aerials, satellites) fixed to the rear elevation. These are to be carefully removed and disposed of.	Nr	5.00
	Brickwork		The brickwork to the gable end of the Hall appears to be in good condition with very limited spalling or damage. If any badly damaged/spalling bricks are found they are to be removed and reinstated with bricks to match the existing.	/	/
	Pointing		The pointing over the whole elevation of the ground floor extension has been poorly completed. It is to be carefully dug out to an approved depth and reinstated with an approved mortar.	M ²	25.00
			The top half of the gable end at 1st floor level is evidently receding. This area of brickwork is to be repointed with an approved mortar.	M ²	11.00
	Stonework/ Concrete		The stone bricks on the ground floor extension appear to be in good condition. Part of a mixed construction that also includes historic and new brickwork, they do not appear to be suffering from damage.	/	/
	Flashing		There is no flashing evident at the time of survey, though it had recently snowed. Once this has cleared there may be lead flashing visible.	/	/
	Vegetation		There is vegetation growing from the ground floor extension. This is to be carefully removed, ensuring no damage is done to the masonry it is growing from.	M ²	1.00
	Staining		There is some green staining on the masonry of the ground floor extension. Any staining is to be carefully cleaned from the elevation.	M ²	2.00

Rainwater/ Waste Goods	Gutter		The modern gutter is to be removed and reinstated with a length of appropriate cast iron gutter.	M	5.00
	Downpipe		The modern downpipe is to be removed and reinstated with an appropriate cast-iron gutter.	M	5.00
Windows & Doors	Windows		There are no windows on the rear elevation.	/	/
	Doors		The double fire doors appear to be in good condition. As they are fire doors they do not necessarily need to be reinstated with historic doors.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

GROUND FLOOR - RG01

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Mezzanine	High	Existing mezzanine floor and access stairs to be removed from site and disposed of appropriately, including the associated lighting underneath.	M ²	16.00
	Lighting	Medium	There are two modern lights on either side of the blind window, two in the ceiling above the mezzanine floor, four to the left of D1 and a large light above W1. These are to be carefully removed from site and disposed of.	Nr	9.00
	HVAC	Medium	Fan heater over D1 is to be isolated, removed and disposed of.	Nr	1.00
	Wall Fixings	Medium	In the area beyond the mezzanine floor and on the southern wall there are several hooks and nails screwed into the wall. These are to be removed and the plaster beneath repaired as appropriate.	Nr	5-10
	Wiring & Trunking	High	Primarily on the west elevation there are sections of trunking either side and above W1. These are to be carefully removed, ensuring the wiring within is isolated, and disposed of appropriately.	M	5.00
Wall	Cubicle Dividers	High	Existing cubicle dividers beneath mezzanine floor are to be removed and disposed of.	Nr	3.00
	Plasterboard	High	Existing plasterboard wall finish beneath mezzanine floor and within the western window reveal is to be carefully removed so as to not cause any damage to the original/historic walls.	M ²	28.00
	Wall Finish & Damage	Medium	Following the removal of the mezzanine floor, stairs and the plasterboard, the walls beneath are to be inspected for damage and repaired as necessary.	/	/
	Decoration	Medium	Following all repairs, walls are to be finished with white paint.	M ²	165.00

Ceiling	Ceiling Finish		The existing ceiling finish and surrounding coving appears to be appropriate and in good condition. No damage to note at time of survey.	M ²	40.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	40.50
Floor	Existing Floor Finish		Existing modern inappropriate timber floor covering to be removed from site and disposed of.	M ²	40.00
	Historic Floor		Following the removal of the existing floor finish, the historic floor beneath is to be inspected for damage and repaired as required. No damage noted at this time.	M ²	40.00
Windows	W1 - West Elevation		Internal hoarding to be removed and disposed of appropriately. Existing timber-frame window and glazing to be removed and disposed of.	Nr	1.00
			New historically appropriate timber-frame window to be designed and installed.	Nr	1.00
	Blind Window - South Elevation		Wallpaper to be removed from blind window and wall beneath inspected for damage.	M ²	8.00
Doors	D1 - External Door		Boarding over D1 and flanking windows is to be carefully removed and disposed of. Following removal of fan heater and wiring/trunking (detailed below).	/	/
			Existing door to be cleaned of all paint and inspected for damage and repaired as necessary. Door to be finished in appropriately specified paint following cleaning and repairs.	Nr	1.00
	D2 - Between RG01 & RG07		The internal door to RG07 has been removed. This is to be reinstated with a door designed with traditional details.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

GROUND FLOOR - RG02 & RG03

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Lighting	High	The spotlights in the false ceilings of both rooms are to be disconnected and removed by a qualified electrician.	Nr	6.00
	HVAC	Medium	There is a curtain heater fitted over the door between RG02 and RG03. this is to be safely disconnected and removed.	Nr	1.00
Wall	Partition Wall	High	Partition wall between RG02 & RG03 to be removed, including modern double doors.	M ²	7.50
	Display Wall	High	Existing display wall on north side of RG02 is to be carefully removed from site and disposed of.	M ²	5.25
	Wall Finish	Medium	The paint is to be carefully cleaned from all walls to reveal the historic finish beneath. If damaged the walls are to be repaired as required.	M ²	30.00
	Decoration	Medium	Following all repairs, walls are to be finished with white paint.	M ²	30.00
Ceiling	False Ceiling	High	The false ceiling in both rooms is to be carefully removed so as to not cause further damage to the historic ceiling above it.	M ²	12.00
	Historic Ceiling	High	Following the removal of the false ceiling the historic ceiling above is to be inspected for damage and repaired as required.	M ²	12.00
	Decoration	Medium	Following all repairs, ceiling is to be finished with white paint.	M ²	12.00
Floor	Trapdoor	Medium	There is a trapdoor in the floor of RG02. This is to be investigated as to where it leads. The set of stairs in RB09 do not appear to be in the right place to terminate at the trapdoor.	M ²	1.00

Floor	Floor Finish		The existing carpet flooring in both rooms is to be carefully taken up and disposed of.	M ²	12.00
	Historic Floor		Following the removal of the existing carpet the floor beneath is to be inspected for damage and repaired as necessary.	M ²	12.00
Wind'				/	/
Doors	D1 - Between RG02 & RG03		The set of modern double doors between RG02 & RGO3 are to be removed and disposed of.	Nr	1.00
	D2 - Between RG03 & RG07		The set of modern double doors between RG02 & RGO3 are to be removed and disposed of. Any approved design may then require a new set of double doors designed to fit the historic doorway.	Nr	1.00
	DG3 - Between RG03 & RG05		The existing door between RG03 and RG05 has some historic moulding details on the RG03 side, but appears to be an inappropriate modern door from the RG05 side, suggesting the door itself is inappropriate. This is to be removed and reinstated with a traditional timber door with the appropriate historic details.	Nr	1.00
	DG4 - Between RG03 & RG01		The survey of RG01 has shown that the door shown in RG03 is currently covered from that side and appears to be inappropriate. Following the removal of the cubicles/plasterboard from the RG01 side, the doors are to be removed and reinstated with a set of double doors designed with the appropriate historic details.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

GROUND FLOOR - RG04

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Fixtures & Fittings		All cloakroom fixtures are to be removed and disposed of.	/	/
	Lighting		The lighting panels in the false ceiling are to be safely disconnected and removed.	Nr	2.00
Wall	Temporary Wall		The temporary wall that has been installed against the window wall is to be removed carefully so as to not damage the window behind it.	M ²	14.50
	Partition Wall		The partition wall situated in the centre of the room is to be dismantled and removed.	M ²	15.00
	Wall Finish		All walls are to be cleaned of black paint, ensuring no damage is done to the historic walls beneath it. They are to then be inspected for damage and repaired as required. No damage is noted at this time.	M ²	48.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	48.00
Ceiling	False Ceiling		The existing false ceiling is to be carefully removed and disposed of.	M ²	18.00
	Historic Ceiling		Following the removal of the false ceiling the historic ceiling above is to be inspected and repaired as required. As it could not be seen during the survey no damage is noted at this juncture.	M ²	18.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	18.00
Floor	Existing Floor Finish		Existing modern inappropriate floor covering to be removed from site and disposed of.	M ²	18.00

Floor	Historic Timber Floor		Existing historic timber floor is still in place beneath the modern covering. Following the removal of the modern covering the timber floor is to be inspected and repaired as necessary.	Nr	18.00
Windows	W1 - West Elevation		The external hoarding is to be removed in conjunction with the removal of the internal temporary wall that is obscuring the window at the moment. We will assume at this juncture that the window is inappropriate, as the same window is in RG01. It is to be removed in its entirety.	Nr	1.00
			New historically appropriate timber-frame window to be designed and installed.	Nr	1.00
Doors	D1 - External Door		This door may be historic, but has been horizontally cut in half and had a shelf fixed to it when it was converted into a cloakroom. This door is to be removed in its entirety and a new door reinstated.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

GROUND FLOOR - RG05 & RG06

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Sink & Fixed Unit	High	The sink and fixed unit by the door through to RG03 are to be carefully removed and disposed of.	Nr	2.00
	Wiring Centre	High	The wiring in the entire building is the result of several generations of hurried installations. It is recommended that the wiring is stripped right back to its source in RG06. A qualified electrician can then determine whether the wiring centre can be re-used.	/	/
	Wiring	High	There is a large amount of wiring and trunking in RG05, circling the room, that is to be isolated and removed by a qualified electrician.	M	20.00
Wall	Wall Finish in RG05	High	The existing red/orange paint finish in RG05 is modern, inappropriate, and in poor condition. It is to be carefully cleaned from all surfaces so as to not cause any further damage to the walls beneath.	M ²	46.00
	Historic Wall in RG05	High	Following the removal of the modern paint, the wall beneath is to be inspected for damage and repaired.	M ²	46.00
	Wall Finish in RG06	High	The existing walls in RG06 are in poor condition. Due to the extent of the damaged plaster this schedule has specified the removal of all existing wall finish and the reinstatement of an appropriate plaster finish.	M ²	30.00
	Decoration	High	Following all repairs, walls in RG05 & RG06 are to be finished with white paint.	M ²	76.00
Ceiling	Ceiling Finish	High	The existing ceiling finish in RG06 is to be completely removed and the structure/joists above inspected for damage, as the condition survey noted water ingress damage. Once completed, the ceiling is to be reinstated as appropriate.	M ²	4.00

Ceiling	Decoration		Following all repairs, ceiling in RG06 is to be finished with white paint.	M ²	4.00
Floor	Rubble/Dirt in RG06		Rubble/dirt to be cleared from floor of RG06 and area beneath inspected for damage.	M ²	3.50
	Floor in RG05		The existing floor in RG05 is of solid construction and in good condition, though needs to be thoroughly cleaned ensuring not to damage the floor material beneath.	M ²	24.00
Wind'				/	/
Doors	D1 - Between RG05 & RG06		This door has been removed completely. A traditional door is to be designed and installed.	Nr	1.00
	D2 - Between RG05 & RG07		This traditional door has been removed, though the historic doorway has been retained, including the arched top section that would house a fanlight/hopper window. The modern door and boarding over the fanlight are to be carefully removed and a traditional door and fanlight designed and installed.	Nr	1.00
	D3 - Between RG05 & Basement		The existing door between RG05 and the basement is modern and damaged. It is to be removed and reinstated with an appropriate traditional door.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

GROUND FLOOR - RG07

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)	
Miscellaneous	HVAC		There are several HVAC units fixed either to the timber boxing on the north side or to the elevation on the south side. These are to be disconnected and removed.	Nr	4.00	
	Lighting		There are several lights fixed to the trusses on the north and south sides of the room, and several more lights fixed to the elevation on the east and west sides. These are to be disconnected and removed.	Nr	6-8	
	Boxing and Cables		The timber boxing and the cables that run along both the north, south and west walls just beneath the pilaster corbels are to be removed, ensuring the cables have been made safe.	M	46.00	
	Fireplace 01 - South Elevation, West Side			The stone fireplace has been left unpainted. There are various signs of damage to the stone that are to be repaired using an appropriately specified material.	Nr	1.00
				The fireplace has been boarded over. This is to be removed and the fireplace inspected and cleaned out. For the purposes of this schedule we will assume the fireplace and associated chimney do not need to be made functional.	Nr	1.00
	Fireplace 02 - South Elevation, East Side			This fireplace has been painted in the same manner as the rest of the walls. All paint is to be carefully cleaned from it. There are some obvious sections of damage to the stone, and once the paint has been cleaned from it and any other damage is noted these are to be repaired using the appropriately specified material.	Nr	1.00
				The fireplace has been boarded over. This is to be removed and the fireplace inspected and cleaned out. For the purposes of this schedule we will assume the fireplace and associated chimney do not need to be made functional.	Nr	1.00
Lift			In order to provide disabled access to the 1st floor conference centre, a small lift is to be installed in RG07. The exact location for this lift has not yet been determined. Capacity for AT LEAST one person with wheelchair.	Nr	1.00	

Wall	Mirrors		Modern mirrors fixed to the walls in the recesses are to be removed and disposed of.	Nr	5-10
	Wall Finish		Existing posters, debris and black paint wall finish is to be cleaned from all walls using the approved method so as to not cause further damage to the wall beneath.	M ²	300.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	300.00
Ceiling	Ceiling/Truss Finish		In conjunction with walls, existing black paint is to be cleaned from vaulted ceiling using the approved method and the historic material beneath inspected for damage.	M ²	/
	Timber Trusses		The arched timber trusses are largely in good condition, though one section above the viewing balcony is damaged/rotting. This section of timber is to be cut out a new section spliced in.	M ²	1.00
	Damage to Panels		There are some sections of angled and vertical timber panels beneath the roof windows that are damaged and have holes in them. These timber panels, if they cannot be repaired in place, are to be removed and reinstated. For the purposes of this schedule we will assume any damage can be repaired in place.	M ²	2.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	/
Floor	Existing Flooring		The existing flooring in the entire room is in poor condition and inappropriate. This is to be removed in its entirety. It appears as though the floor joists in the solid section of the floor are modern as well and have been laid in poured concrete. Decision is to be made as to whether the modern floor joists can be left in place.	M ²	233.00
	Flooring Reinstatement		Following the removal of the modern timber floor finish, an appropriate timber floor system is to be installed in its place. For the purposes of this schedule we will assume this can be installed on the existing floor joists.	M ²	233.00
Wind'	12 x Roof Windows		Boarding over roof windows is to be removed. Windows are to be inspected for damage/leaks and repair as required. The condition survey and structural survey noted that at least 2/3 of the windows are leaking and will require major repairs.	Nr	12.00
Doors	D1 - Double Doors to East Elevation		Existing modern doors to east elevation and boarding above are to be removed and disposed of. Appropriate historic double doors are to then be designed and installed.	Nr	1.00
	Other Doors		The doors through to RG01, RG03 and RG05 have been detailed in their respective schedules.	/	/

HIGH PRIORITY	(to be completed before viewings to potential tenants)
LOW PRIORITY	(to be completed before building is adapted)

**GROUND FLOOR -
RG08, 09, 10 & 11**

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Plumbing & Drainage		The existing plumbing and drainage furniture/pipes are to be disconnected and removed from site.	/	/
	Lighting & Security		All spotlights and security furniture (sensors/cameras) are to be safely disconnected and removed from site.	/	/
Wall	Wall Finish		Existing tile finish and black paint to be removed/cleaned from all walls, ensuring no damage is caused to any original walls.	M ²	126.00
	Cubicles		Any partition walls used for cubicles are to be dismantled and removed from site.	M ²	4.50
	Historic Walls		Following the removal of all existing finishes and modern cubicles, the walls beneath are to be inspected for damage and repaired as necessary.	M ²	126.00
	Decoration		Following all repairs, walls are to be finished with white paint	M ²	126.00
Ceiling	False Ceiling		The existing false ceiling is to be taken down and removed from site. The historic ceiling above can then be inspected for damage and repaired as necessary.	M ²	35.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	35.00
Floor	Floor Finish		Existing modern bathroom floor finish is to be carefully taken up and the floor beneath inspected to see if it is historic and/or damaged.	M ²	35.00
Wind'				/	

Doors	Doors Between RG10 and RG08, RG09 & RG11		The existing doors through to all three rooms are modern. These are to be removed and reinstated with doors designed to match the period of the building.	Nr	3.00
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HIGH PRIORITY (to be completed before viewings to potential tenants)
LOW PRIORITY (to be completed before building is adapted)

FIRST FLOOR - RF01

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	HVAC Unit		The existing curtain heater over the door accessing RF03 is to be carefully removed from site and disposed of.	Nr	1.00
	Lighting		The inappropriate light over the door to RF03 and the light sitting on the floor by the right-hand window are to be removed from site and disposed of.	Nr	2.00
	Fireplace 01 - South Side		The paint finish is to be carefully cleaned from the fireplace, so no further damage is caused. Although it appears to be in good condition beneath the paint, following its removal the entire fireplace is to be inspected for damage and repaired using the appropriate methods.	Nr	1.00
	Fireplace 02 - North Side		The paint finish is to be carefully cleaned from the fireplace, so no further damage is caused. Although it appears to be in good condition beneath the paint, following its removal the entire fireplace is to be inspected for damage and repaired using the appropriate methods.	Nr	1.00
Wall	Wall Finish		Existing paint finish is to be carefully cleaned from all four walls via the approved method so as to not cause any further damage to the wall beneath. The walls are to then be inspected for damage and repaired as required.	M ²	201.00
	Damage to Plaster		The damage to the plaster from water ingress on the north side of the room is to be removed and the wall beneath inspected for damage. A traditional plaster is then to be specified and reinstated.	M ²	10.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	201.00

Ceiling	Ceiling Finish		Existing paint finish is to be carefully cleaned from the ceiling via the approved method so as to not cause any further damage to the material beneath.	M ²	76.00
	Missing Coving		There is a section of missing coving above the right-hand window. This is to be reinstated to match the existing coving.	M	1.00
Ceiling	Decoration		Following all repairs, the ceiling is to be finished with white paint.	M ²	76.00
Floor	Existing Floor Finish		The condition survey has shown that the historic timber floor is still in-situ beneath the modern floor carpet/laminate. The existing floor finishes are to be carefully removed so as to not cause any further damage to the material beneath.	M ²	76.00
	Historic Timber Floorboards		Following the removal of the modern carpet/laminate the historic timber floor is to be inspected for damage and repaired as required.	M ²	76.00
Windows	W1 - Right-Hand		<p>The covering on the top section of the window is to be removed in order for them to be inspected. It appears as though the top row and flanking windows on the bottom row are original/historic. Any cracked glazing is to be repaired as required.</p> <p>The central bottom window is in very poor condition and appears to be modern. Historic images showed this had a sliding sash. Following the removal of the existing window an appropriate replacement is to be designed and installed.</p>	Nr	1 x individual window
	W2 - Central		<p>The covering on the top section of the window is to be removed in order for them to be inspected. It appears as though the top row are original/historic. Any cracked glazing is to be repaired as required.</p> <p>The bottom row of windows are a different design to the W1. These are to be removed and reinstated with windows of an appropriate design.</p>	Nr	1 x individual window
	W3 - Left-Hand		<p>The covering on the top section of the window is to be removed in order for them to be inspected. It appears as though the top row are original/historic. Any cracked glazing is to be repaired as required.</p> <p>The bottom row of windows are a different design to the W1. These are to be removed and reinstated with windows of an appropriate design.</p>	Nr	3 x individual windows
Doors	D1 - Between RF01 & RF02		The door between RF01 and RF02 and the associated door frame are to be cleaned of all paint. Subsequently the door is to be inspected for damage and repaired. Care is to be taken as the upper two panels are glazed.	Nr	1.00

Doors	D2 - Between RF01 & RF03		The door between RF01 and RF03 and its associated door frame are to be cleaned of all paint. Subsequently the door is to be inspected for damage and repaired. The modern ironmongery is modern and is to be removed and reinstated with appropriate fixtures.	Nr	1.00
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HIGH PRIORITY (to be completed before viewings to potential tenants)
LOW PRIORITY (to be completed before building is adapted)

FIRST FLOOR - RF02

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Lighting	Green	The modern strip lights are to be carefully removed from the ceiling and disposed of appropriately.	Nr	2.00
	Wiring & Trunking	Red	There are several cables and sections of trunking either loose, fixed to the wall or even running through the wall or ceiling. All cables and trunking sections are to be isolated, removed and disposed of.	M	6.00
	Other	Green	The broken heating fixture on the south wall, the shelves on the west wall and any other broken/inappropriate items are to be removed and disposed of.	/	/
Wall	Wall Finish	Green	The existing inappropriate red/orange paint finish is to be cleaned from all walls, without causing any further damage to the wall beneath.	M ²	55.00
	Damage to Wall	Red	There are some small sections of wall that have been damaged to allow wires to run through it. Following the removal of the cables the walls are to be repaired as required.	M ²	0.25
	North Wall to Window Bay	Green	Following the repair of any structural damage to the window, the north wall of the bay the window sits in is to be reinstated in the same fashion as the rest of RF02.	M ²	9.00
	Decoration	Green	Following all repairs, the walls are to be finished with white paint.	M ²	55.00
Ceiling	Ceiling Finish	Green	The existing inappropriate red/orange finish is to be carefully cleaned from the ceiling and the surrounding coving.	M ²	18.50
	Holes in Ceiling	Red	There is a hole in the ceiling close to the currently block doorway to RF03. There are also several smaller holes/indentations in various places and most likely damage from where the modern lights are fixed. These are to be repaired to match the existing ceiling construction.	M ²	0.50

Ceiling	Ceiling to Window Bay		Following the repair of any structural damage to the window, the ceiling of the bay the window sits in is to be reinstated in the same fashion as the rest of RF02.	M ²	2.50
	Decoration		Following all repairs, the ceiling is to be finished with white paint.	M ²	18.50
Floor	Floor Finish		The condition survey has shown that the historic timber floor is still in-situ beneath the modern floor carpet/laminate. The existing floor finish is to be carefully removed so as to not cause any further damage to the material beneath.	M ²	18.50
	Historic Timber Floorboards		Following the removal of the modern carpet/laminate the historic timber floor is to be inspected for damage and repaired as required.	Nr	17.00
	Floor to Window Bay		Following the repair of any structural damage to the window the floor in front of it (currently with a decking on top of it or part of it) is to be reinstated with the same timber floorboards as the rest of RF02.	M ²	2.50
Windows	W1 - East Elevation		The bars currently fixed to the window, the platform in front of it and the modern timber framing system to the left and above the window are to be removed and disposed of.	/	/
			Following the removal of all modern items the window is to be repaired. The angle the window is currently sitting at suggests the surrounding bay is structurally damaged. This will need to be repaired prior to any other repairs taking place	Nr	1.00
Doors	D1 - Between RF02 & RF03		The doorway through to RF03 is currently blocked. This is to be unblocked and a traditional door designed and installed.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

FIRST FLOOR - RF03

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Lighting		There is a square light fixture on the ceiling that is to be removed and disposed of.	Nr	1.00
	Fixtures		There are several fixtures (Fire Escape Signs etc.) fixed to the walls. These are to be removed and disposed of.	Nr	3-4
Wall	Wall Finish		Following the removal of all fixtures (detailed separately) the existing paint finish is to be cleaned from the walls. The walls are to be inspected for damage and repaired as appropriate.	M ²	19.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	19.00
Ceiling	Ceiling Finish		The existing paint finish is to be carefully cleaned from the ceiling via the approved method.	M ²	5.00
	Ceiling Damage		There is a large hole in the ceiling next to the existing light fixture, and a smaller one at the juncture with the wall where several wires are running through. Following the removal of the light, any damage left behind and the hole itself are to be repaired as appropriate.	M ²	0.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	5.00
Floor	Floor Finish		There are some sections of carpet/timber on the floor that are to be removed. Otherwise the historic timber floor beneath appears to be in good condition. Unless an inspection identifies any necessary repairs, it is to be left as it is.	M ²	21.50
Wind'				/	/

Doors	D1 - Between RF03 & RF01		The door has been detailed in the schedule for RF02.	/	/
	D2 - Between RF03 & RF02		The door has been detailed in the schedule for RF01.	/	/

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

FIRST FLOOR - RF04

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Plumbing & Drainage		The existing plumbing and drainage furniture/pipes are to be disconnected and removed from site.	/	/
Wall	Wall Finish		Existing tiles and paint finish are to be removed/cleaned from all walls, ensuring no damage is caused to any original material beneath.	M ²	15.50
	Historic Walls		Following the removal of all existing finishes and bathroom furniture, the walls beneath are to be inspected for damage and repaired as necessary. The water/damp ingress behind the existing pipework is to be inspected and repaired.	M ²	15.50
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	15.50
Ceiling	Ceiling Finish		The existing ceiling is to be cleaned of all paint and inspected for damage. It appears to be in good condition except for where the pipework runs through it in the far corner.	M ²	2.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	2.00
Floor	Floor Finish		The existing WC floor finish is to be removed and disposed of.	M ²	2.00
	Historic Floor		Following the removal of the existing floor material the historic floor beneath is to be inspected and repaired as required. No damage is noted at point of survey.	M ²	2.00
Wind'	W1 - External		The external window appears to be in good condition with no repairs required.	Nr	1.00

Doors	Door D1 - To Stairwell		The door to access RF04 from the stairwell landing is in good condition and has been simply detailed with four panels. All paint is to be cleaned from it and any damage repaired as found. The modern ironmongery is to be removed and reinstated with traditional door furniture.	Nr	1.00
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HIGH PRIORITY (to be completed before viewings to potential tenants)
LOW PRIORITY (to be completed before building is adapted)

FIRST FLOOR - RF05

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.					
Wall	Wall Finish		In conjunction with similar work to RG07, the paint is to be cleaned from the walls on the viewing balcony, and the walls beneath inspected for damage.	M ²	25.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	25.00
Ceiling	Ceiling Finish		The existing finish is to be cleaned from the ceiling so as to not cause further damage to the material beneath.	M ²	4.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	4.50
Floor	Floor Finish		Until recently heavy machinery was situated on the viewing balcony. There is still a large amount of rubble and detritus that needs to be removed from site and disposed of. Following this the floor is to be inspected for damage and repaired as necessary.	M ²	4.50
Wind'				/	/
Doors	D1 - To Stairwell		The existing door appears to be historic. It is to be removed and the paint cleaned from it. The door itself does not appear to be damaged, though some of the ironmongery has been removed. Any damaged/missing ironmongery is to be reinstated with traditional door furniture.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

FIRST FLOOR - STAIRWELL

SCHEDULE OF REPAIRS

NOTE

For the purposes of this schedule the stairwell will include the stairs from the ground to the first floor (RG03) in its entirety, including the landings to access RF04 and RF05.

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Lighting	High	There are two modern light fixtures, above the stairs where they change direction and next to the ceiling window. These are to be removed and disposed of.	Nr	2.00
	Bannister & Fixtures	High	The balustrade, newel posts and all other fixtures of the banister running up the stairs are in relatively good condition, though they need to be cleaned of all paint and decoration.	/	/
	Wiring	High	There are several lengths of wiring fixed to the wall at various points. These are to be disconnected and disposed of.	M	10.00
Wall	Wall Finish	High	Once all of the cables and fixtures are removed from the walls (detailed above), all inappropriate paint is to be carefully cleaned from the elevation before it is checked for damage and repaired as required.	M ²	75.00
	Stone Columns & Supports	High	The stone supports with intricate detailing that runs alongside the stairs is in very good condition. The stone cornice running along the top has been partially damaged/chipped and is to be repaired using an appropriate material.	M ²	0.50
		High	At ground floor level the stone have been painted blue up to the level of the stairs. This is to be carefully cleaned from the stone.	M ²	4.00
	Decoration	High	Following all repairs, walls are to be finished with white paint.	M ²	75.00

Ceiling	Ceiling Finish		The ceiling above the stairwell and surrounding the ceiling light is mostly in good condition, though there is some cracking surrounding the ceiling light. The paint is to be cleaned from all surfaces, ensuring no damage is caused, before it is inspected and repaired as required.	M ²	16.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	16.50
Floor	Stair Treads		The stair treads of the entire flight appear to be in very good condition. They are to be cleaned of all accumulated grime and bird remains/faeces and inspected for damage.	Nr	30.00
	Landings		Both landings (leading to RF04 and RF05 respectively) are in very good condition. They are to be cleaned of all bird remains/faeces and inspected for damage.	M ²	6.00
				On the landing from which the door to RF04 is situated, the timber casement of the landing (opposite the stone cornice) is separating from the landing. It is to be repaired.	M ²
Windows	Ceiling Window Frame		The frame of the large stained glass ceiling window above the staircase is in remarkably good condition. All debris is to be removed from it and dirt cleaned from it. This schedule assumes no repairs are required to the glazing bars.	/	/
	Ceiling Window Glazing		Most of the stained glass is missing from the ceiling window. Any missing glazing is to be reinstated to continue the design of the remaining panels.	M ²	6.00
Doors	D1 & D2 - To RF04 & RF05		These doors have been detailed in their relevant schedules.	/	/

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB01

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Cables		There are several cables penetrating the ceiling. Due to their location in the basement they are not interfering with any proposed finish at this juncture and can be left as is.	M	9.00
Wall	Wall Finish		The masonry walls of this room have been left unfinished. They appear to be in good condition with some water penetration. The walls are to be cleaned of all dirt and grime. Any severely damaged bricks are to be reinstated with similar replacements, and any water ingress is to be inspected. No damage noted in initial survey.	M ²	30.00
	Partition Wall		The partition wall in between RB01 and RB02 is in good condition, and until a final use for the two rooms has been chosen there is no need to remove it. It is to be left in place.	/	/
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	30.00
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been left unfinished. It appears to be in good condition with no obvious water penetration. The ceiling is to be cleaned of all dirt and grime. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	27.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	27.50
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The tile finish is to then be inspected and any individual tiles are to be reinstated.	M ²	27.50
Wind'				/	/

Doors	D1 - Between RB01 & RB10		This door has been removed. Depending on the final use of RB01 a door can be reinstated in its place.	Nr	1.00
Doors	D2 - Between RB01 & RB02		This door in between RB01 and RB02 is modern and was most likely installed when the partition wall was built between the two rooms. It is in good condition and can be left in place.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB02

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Desk		The large desk is to be dismantled and removed.	Nr	1.00
Wall	Wall Finish		The masonry walls have largely been plastered, and all of the walls have been painted white. They do not appear to be damaged in any way. There is some mild staining in the recess on the west wall that may have been from damp penetration though there does not appear to be any at the time of survey. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	20.00
	Partition Wall		The partition wall in-between in between RB01 and RBO2 has been surveyed in the RB01 schedule. The partition wall in between RB02 and RB03 is in good condition with no repairs required.	M ²	11.50
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	20.00
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	13.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	13.00
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The tile finish is to then be inspected and any individual tiles are to be reinstated.	M ²	13.00

Wind'				/	/
Doors	D1 - Between RB02 & RB03		The door in the partition wall in between RB02 and RB03 is in good condition with no repairs required.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB03

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Electricity Meter		The electricity meter, several fuse boxes and lengths of cables are housed in RB03. As these are still in use, care is to be taken when undertaking any repairs.	/	/
Wall	Wall Finish		The masonry walls have been partially plastered, and all of the walls have been painted white. They do not appear to be damaged in any way. There is some mild staining in the recess on the west wall and surrounding the electrical installation that may have been from damp penetration though there does not appear to be any at the time of survey. This will need to be inspected to ensure the electrics are not in danger from water penetration. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	16.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	16.00
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been partially plastered and painted white. It appears to be in good condition with no obvious water penetration. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	5.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	5.50
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The tile finish is to then be inspected and any individual tiles are to be reinstated.	M ²	5.50
Wind'				/	/

Doors	Doors		The door in between RB02 and RB03 has been surveyed in the schedule for RB02.	/	/
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	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB04

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Equipment & Debris		The large piece of equipment in the centre of the floor, the safe in the corner and the various bits of disused equipment are to be removed and disposed of. The same can be done with the various bits of rubbish in the corner of the room.	Nr	5-10
	Generator (?)		There is a large piece of equipment in the far right corner of the room. Its use is unknown so it is to be investigated to confirm its use. At this juncture, it and the pipes attached to it are to be left in place.	/	/
Wall	Wall Finish		The masonry walls of this room have been left unfinished. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place. There is some water penetration that will need to be inspected, though does not appear to be serious. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	42.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	42.00
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been left unfinished. It appears to be in good condition with no obvious water penetration. The ceiling is to be cleaned of all dirt and grime. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	17.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	17.50
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The solid floor is to be inspected for damage and repaired as required. No damage noted at time of survey.	M ²	17.50

Wind'				/	/
Doors	D1 - Between RB04 & RB10		A timber frame has been installed for the door through to RB10. This door appears to be historic and in good condition. Until the final use of the Hall can be confirmed the door can be left as it is.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB05

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Pub/Bar/ Nightclub Fixtures		There are various fixtures on the right hand wall that indicate this was the beer cellar when the Hall was used as a nightclub. All fixtures associated with this (including the large HVAC unit on the far wall) are to be dismantled and removed.	/	/
	Pipe		A large metal pipe runs horizontally the full length of this room. It is to be investigated but otherwise it is to be left in place.	M	5.00
Wall	Wall Finish		The masonry walls of this room have been left unfinished although they have been painted white. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	29.00
	Partition Wall		The partition wall in between RB05 and RB06 is in good condition, and until a final use for the two rooms has been chosen there is no need to remove it. It is to be left in place.	M ²	9.50
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	29.00
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	17.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	17.50

Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The solid floor is to be inspected for damage and repaired as required. No damage noted at time of survey.	M ²	17.50
Wind'				/	/
Doors	D1 - Between RB05 & RB06		This door is part of the partition wall installation and is in good condition. Until a final use for the Hall is decided, it is to be left in place.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB06

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Pub/Bar/ Nightclub Fixtures		There are two large generators(?) sitting on the floor that we can assume were also associated with the Halls use as a nightclub. These are to be investigated, disconnected and removed. The same can be done with all other fixtures (blackboard etc).	/	/
	Pipe		A large metal pipe runs horizontally the full length of this room. It is to be investigated but otherwise it is to be left in place.	M	5.50
Wall	Wall Finish		The masonry walls of this room have been left unfinished although they have been painted white. They appear to be in good condition, though there is some obvious water penetration that will need to be inspected. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	36.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	36.00
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	37.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	37.00
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	M ²	37.00

Wind'				/	/
Doors	D1 - Between RB06 & RB10		There is no door installed, and does not appear to have been one. Dependant on the final use of the Hall, a door is to be designed and installed.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB07

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Kitchen Fixtures		The kitchen cupboards and surfaces are in very poor condition and are to be dismantled and removed.	/	/
	Lighting		In conjunction with the false ceiling being removed the modern lighting fixture is to be disconnected and removed.	Nr	1.00
	Closet/Cupboard		This small area under the stairs is in relatively good condition, though could easily be removed if deemed unnecessary.	/	/
Wall	Wall Finish		The solid walls have been plastered and painted. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime and left as they are.	M ²	14.00
	Partition Wall		A partition wall has been installed to separate RB07 from RB08 & RB09. It is in fairly poor condition. Depending on the final use of the Hall and this space, the wall could be removed.	M ²	10.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	14.00
Ceiling	False Ceiling		The false ceiling is in poor condition and has signs of mould by the light fixture. It is to be completely removed.	M ²	10.00
	Historic Ceiling		The historic ceiling is to be investigated once the false one is removed. Any damage or damp penetration is to be repaired.	M ²	10.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	10.00

Floor	Kitchen Platform		A temporary platform has been constructed for the kitchen cupboards to stand on. This is to be dismantled and removed in conjunction with the rest of the kitchen.	M ²	4.50
	Floor Finish		All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	M ²	10.00
Wind'				/	/
Doors	D1 - Between RB07 & RB08		This is a modern door and part of the partition wall. If the wall is removed the door will be removed as well.	Nr	1.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB08 & RB09

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Miscellaneous	Bathroom Furniture		The bathroom furniture in RB08, including all surfaces, timber framing and pipework, is to be carefully disconnected, dismantled and removed from site.	/	/
	Stairs		The stairs leading from RB09 to the ground floor have been boarded over. It is not clear where they access on the ground floor though the floor layouts suggest it may be RG01. The trapdoor in RG02 is not in quite the right location. This is to be investigated and if necessary, the stairs can be reinstated.	/	/
Wall	Damaged Plaster		The walls have been plastered and painted an inappropriate orange in RB09, as was found in various rooms on the ground and first floors. The paster is in poor condition in some places and is to be carefully removed and re-plastered using an appropriately specified replacement.	M ²	2.00
	Wall Finish		The paint is to be cleaned from all walls using the approved method so no further damage is caused to the plaster beneath. The timber cladding in RB08 is to be removed as well.	M ²	20.00
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	20.00
Ceiling	Ceiling Finish		The orange paint is to be cleaned from the ceiling via the approved method so no further damage is caused to the ceiling above.	M ²	10.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	10.50
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	M ²	10.50

Wind'				/	/
Doors	D1 - Between RB08 & RB09		This is a modern door and frame and installed as part of the bathroom installation. It is to be removed in line with the rest of the bathroom furniture.	Nr	1

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

BASEMENT - RB10

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.	Signage & Fixtures		All modern signage and fixtures are to be carefully removed.	/	5-10
Wall	Wall Finish		The masonry walls of this room have been left unfinished although they have been painted white. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	22.50
	Decoration		Following all repairs, walls are to be finished with white paint.	M ²	22.50
Ceiling	Ceiling Finish		The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration. Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	M ²	18.00
	Decoration		Following all repairs, ceiling is to be finished with white paint.	M ²	18.00
Floor	Floor Finish		All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	M ²	18.00
Wind'				/	/

Doors	Gate - Between RB10 & Stairs		The gate in between RB10 and the stairs is in good condition with no repairs required.	Nr	1.00
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	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

ROOF

SCHEDULE OF REPAIRS

Components		Priority	Description of Repairs	Unit	Amount (Approx.)
Misc.				/	/
Tiles	Slate Tiles		The condition and structural surveys noted that the slate roof tiles (that can be seen on the southern aspect of the roof) are mostly in place, though are weathered. A roofing specialist will be required to determine the extent of any necessary reinstatement.	M ²	400 (approx.)
Structure	Roof Structure		The structural survey noted that the timber roof structure may require extensive repairs and a specialist roofing contractor will be required to conduct a high level survey to note whether the roof can be repaired or is to be removed and reinstated.	M ²	400 (approx.)
Wind'	12 x Roof Windows		Previously noted in the Schedule of Repairs for RG07, the 12 hexagonal roof windows are showing signs of water ingress in several locations and all windows will need to be inspected for repairs.	Nr	12.00

	HIGH PRIORITY (to be completed before viewings to potential tenants)
	LOW PRIORITY (to be completed before building is adapted)

Appendix E

Quantity Surveyors Cost Plan Westgate Hall



Conception Architects



BHANGALS CONSTRUCTION CONSULTANTS

HEAD OFFICE
FARRIERS BARN
STATION FARM
DENTON ROAD
NORTHAMPTONSHIRE
NN7 2BG

0800 369 8988
info@bhangals.co.uk
www.bhangals.co.uk

LONDON OFFICE
90 LONG ACRE
COVENT GARDEN
LONDON
WC2E 9RZ

0207 1600 076
london@bhangals.co.uk
www.bhangals.co.uk/london

COST PLAN

FOR

SCHEDULE OF REPAIRS

PROJECT ADDRESS: WESTGATE HALL

CLIENT NAME: CONCEPT ARCHITECTS

DATE: 11TH JUNE 2021

QUALIFICATIONS, ASSUMPTIONS & EXCLUSIONS:

1 Qualifications:-

- 1.1 It should be noted that, with the limited information available at this stage, the costs should be treated as preliminary and an indication only of the costs that may be incurred. Accurate costs can be ascertained when the brief is established.
- 1.2 The Indication of Costs have been drawn up without the benefit of input from the Building Control and Fire Officers, the CDM Co-ordinator, the Civil/Structural Engineer and Mechanical Engineer and Electrical Engineer.
- 1.3 Any exclusion to the costs together with any assumptions that have had to be made in order to calculate the costs are set out in Section 2.02
- 1.4 The costs are based on 2Q 2021 prices and do not allow for inflation beyond this date.
- 1.5 The drawings used in the preparation of this initial budget cost are as listed below.
- 1.6 The costs reflect overall cost levels as might reasonably be expected in selected limited competition on the basis of JCT Standard Form of Building Contract or similar measure and value or lump sum contract and assumes a Main Contractor using his own most economic working methods and construction periods.
- 1.7 Appropriate allowances have been included in the costs for the Contractor's Preliminaries to reflect the costs anticipated for supervision, plant and tools, temporary power and lighting, water for the works, temporary accommodation, welfare insurance, security, protection, disposal of rubbish etc.
- 1.8 It is assumed the overheads and profit is contained within the rates applied.
- 1.9 All leasing or purchase costs have been excluded.
- 1.10 All site requirements must be established with detailed drawings to ensure a more accurate cost plan is produced. The figures within this cost plan are not to be taken as final and should not be used as a negotiation tool in order to establish the feasibility of a project. In order to establish more accurate figures it is essential to provide detailed drawings and schemes.
- 1.11 The quantities within this document are provisional and are approximate quantities they should not be taken as final and the document should not be used as a bill of quantities
- 1.12 All documents are copyright of Bhangals Construction Consultants Ltd. All Rights Reserved.

2 Assumptions and Exclusions:-

The following assumptions have been made in drawing up the costs:-

- 2.1 Any items which are PC or Provisional Sums will be subject to re-measure/re-price
- 2.2 Any items which are marked as install only are provisional sums, we will confirm the install price once the specification has been confirmed
- 2.3 Any items which are marked as client supply, the client will need to supply any adhesives or sundries required to get the work complete
- 2.4 Skips and rubbish removal are provisional quantity and are subject to re-measure
- 2.5 Making good areas are subject to re-measure
- 2.6 All M&E is assumed and to be confirmed by client and specialist (Provisional Sum)
- 2.7 All decoration is assumed mid range paint production, prices do not cover premium paints
- 2.8 All external works are provisional
- 2.9 All finishes have been assumed therefore they are provisional
- 2.10 Any items not mentioned within the estimate have been excluded
- 2.11 No allowance for incoming supplies or trenches
- 2.12 No allowance for floor finishes apart from the ones mentioned
- 2.13 No allowance for tin hat (temporary roof) to the scaffolding
- 2.14 All specialist repair works are provisional sums
- 2.15 Repairs to walls, floors and ceilings are provisional sums
- 2.16 Windows and doors are PC Sum to supply

3 The costs for the following items are excluded from the costs;

- 3.1 The Clients on costs, charges and contingencies.
- 3.2 LA fees / statutory fees and charges.
- 3.3 Inflation beyond 2Q 2021
- 3.4 Phasing of the building works.
- 3.5 Relocation costs / temporary accommodation.
- 3.6 Planning and building regulation costs.
- 3.7 Site surveys.
- 3.8 Land costs.
- 3.9 Abnormal conditions.
- 3.10 Asbestos removal.
- 3.11 Loose furniture / fittings.
- 3.12 Decanting
- 3.13 Contractors travel/parking costs

INFORMATION USED:

The drawings used in the preparation of this initial budget cost are as listed below:

Drawing reference:

Westgate Hall Plans - basement and first floor 2019
Westgate Hall Plans - ground floor 2019

Cost Plan Summary

PROJECT ADDRESS: WESTGATE HALL

DATE: 11TH JUNE 2021

SECTION				TOTAL COST
Westagate Elevation			£12,779.33	£12,779.33
Side Elevation - North			£4,787.25	£4,787.25
Side Elevation - South			£5,567.25	£5,567.25
Rear Elevation			£11,602.50	£11,602.50
Ground floor - RG01			£17,209.73	£17,209.73
Ground floor - RG02 & RG03			£10,049.33	£10,049.33
Ground floor - RG04			£17,532.45	£17,532.45
Ground floor - RG05 & RG06			£11,154.98	£11,154.98
Ground floor - RG07			£82,676.93	£82,676.93
Ground floor - RG08, 09, 10 & 11			£23,133.34	£23,133.34
First floor - RF01			£26,107.58	£26,107.58
First floor - RF02			£6,674.36	£6,674.36
First floor - RF03			£2,176.20	£2,176.20
First floor - RF04			£4,491.34	£4,491.34
First floor - RF05			£2,238.60	£2,238.60
First floor - Stairwell			£9,479.36	£9,479.36
Basement - RB01			£10,812.75	£10,812.75
Basement - RB02			£2,457.98	£2,457.98
Basement - RB03			£1,570.24	£1,570.24
Basement - RB04			£9,627.64	£9,627.64
Basement - RB05			£4,837.46	£4,837.46
Basement - RB06			£8,593.65	£8,593.65
Basement - RB07			£4,206.15	£4,206.15
Basement - RB08 & RB09			£11,095.01	£11,095.01
Basement - RB10			£4,313.89	£4,313.89
Roof			£2,439.45	£2,439.45
CONSTRUCTION WORKS TOTAL				£307,614.71
Preliminaries			£307,614.71	£46,142.21
Professional fees (provisional sum)	17	%	£353,756.92	£60,139.00
CONSTRUCTION WORKS TOTAL INCLUDING PRELIMINARIES				£413,895.92

Contingencies	10	%	£353,756.92	£35,376.00
Price & Design Risk	5	%	£389,132.92	£19,457.00
Inflation - Based on TP 2Q 2021	0	%	£0.00	£0.00
Total Cost Plan (Excluding & VAT)				£468,728.92
Feasibility Cost (Excluding & VAT)	Range +/- 10%		LOWER	£426,117.20
			UPPER	£515,601.81
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Westgate Elevation

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total	
Prelims	Scaffolding	In order to facilitate the required repairs, scaffolding is to be installed on all external elevations for the full height of the Hall.				Included	
	Hoarding	During construction/repairs, hoarding is to be installed where required.	1.00	item	£1,950.00	£1,950.00	
Wall	Misc.	There are several cables that are to be disconnected and carefully removed. These cables are associated with the neighbouring properties so they will need to be consulted regarding their removal.	25.00	m	£48.75	£1,218.75	
		There are two security alarms fitted to the stonework. These are to be disconnected and removed. If still required they are to be relocated.	2.00	no.	£195.00	£390.00	
	Pointing	The pointing over the whole elevation appears to be in good condition with no need for repairs.				No works	
		Although there is some evidence of slight spalling to stonework in several areas, most of these can be left in the condition they are, as any attempt to repair them may cause further damage.				No works	
	Stonework/ Concrete	The main area of concern are the bases to the columns. These are suffering from a worse degree of spalling than the rest of the elevation. If found necessary, these are to be repaired using the approved methods and materials. (provisional sum)	6.00	no.	£390.00	£2,340.00	
	Flashing	There is no flashing evident on the Westgate elevation.					
	Vegetation	The vegetation growing on the building platform at the junction with the Hall is to be carefully removed. (Provisional sum)	1.00	item	£195.00	£195.00	
	Staining		The previously noted staining on the stone cornice that contains the box/valley gutter is to be carefully cleaned of green staining so as to not further damage the stone.	3.50	m2	£146.25	£511.88
			The stonework behind the downpipes is stained green (likely as a result of damage to the downpipes). These stains are to be cleaned via the approved method.	7.00	m2	£146.25	£1,023.75
			There are some minor stains on the arched pediments of the first floor windows. These are to be carefully cleaned.	2.00	m2	£146.25	£292.50
		The staining at the bases of the six columns that range along the elevation and the stains on the building platform are to be carefully cleaned.	6.00	no.	£146.25	£877.50	
Rainwater Goods	Gutter	The box gutter behind the stone cornice running along the top of the elevation has been identified as damaged due to the amount of staining on the cornice. This is to be inspected and cleared of all blockages. Any damage is to be repaired as required.	13.00	m	£23.40	£304.20	
	Downpipe	The blocked/damaged gutter suggests the accompanying downpipes are blocked/damaged as well. Both downpipes are to be inspected for blockages and cleared as required. If required they are to be removed and reinstated with cast-iron downpipes to match the existing. (Allowed to reinstall)	11.00	m	£175.50	£1,930.50	
		The lower section of the right-hand downpipe is damaged and is to be removed and reinstated with a section of cast-iron downpipe to match the existing. Following the investigations any other damaged sections are to be removed and reinstated as well.	3.00	m	£175.50	£526.50	
Windows		Each of the 5 windows on the front elevation have been detailed in the schedules of the rooms/units they relate to.					

Windows & Doors	Doors	<p>The doors to RG01 and RG04 have been detailed in their relevant schedules.</p> <p>The main door into the Hall is historic and in relatively good condition. All signage and inappropriate ironmongery is to be removed and then all paint is to be cleaned from both doors. Any sections of damaged timber are to be repaired/removed and then new sections spliced in to match the profiles of the historic doors. New ironmongery is to be fitted to both doors (excluding the letterplate, which is historic), and the doors are to be finished with an appropriate paint.</p>	1.00	no.	£1,218.75	£1,218.75
			TOTAL			
						£12,779.33

Side Elevation - North

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
	Misc.	There are no miscellaneous items to note.				Noted
Wall	Pointing	The pointing is visibly receding over several sections of the masonry. The remaining mortar is to be dug out to an appropriate depth and is to be reinstated with an appropriately specified mortar.	8.00	m2	£165.75	£1,326.00
	Stonework/ Concrete	The masonry wall is to be inspected and any severely damaged sections of stonework are to be removed and reinstated in stone to match the existing. Although there are some obvious signs of weathering, no damage seems severe enough to require reinstatement.				No works
	Flashing	The coping stones running along the top of the wall are to be inspected and if found to be severely damaged are to be repaired/reinstated as required.	7.00	m	£195.00	£1,365.00
	Vegetation	No flashing can be seen from ground level. A high-level survey will be required to determine the presence of any flashing.				No works
	Staining	No vegetation can be seen from ground level.				No works
	Staining	This elevation is stained at various locations, primarily running down from the coping stones on the east side. Any staining is to be carefully cleaned via an approved method so as to not cause any further damage.	12.00	m2	£146.25	£1,755.00
Rainwater Goods	Gutter	Due to the water damage/staining noted on the north elevation the assumption has been made that the rainwater goods behind the parapet wall are damaged/blocked. A high level survey will be required to determine the extent of the damage before it is repaired as required.	7.00	m	£48.75	£341.25
	Downpipe	There no downpipes to be surveyed on this elevation.				No works
Windows & Doors	Windows	There are no windows to be surveyed on this elevation.				No works
	Doors	There are no doors to be surveyed on this elevation.				No works
TOTAL						£4,787.25

Side Elevation - South

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
	Misc.	There are no miscellaneous items to note.				No works
Wall	Pointing	The pointing is visibly receding over several sections of the masonry, both brickwork and stonework. This is to be reinstated with an appropriately specified mortar.	13.00	m2	£165.75	£2,154.75
	Stonework/ Concrete	The stonework above the brickwork chimney is weathered/spalling and is to be inspected. If individual blocks are found to be severely damaged they are to be removed and reinstated with blocks to match the existing.	7.00	no.	£243.75	£1,706.25
		The coping stones running along the top of the parapet wall are also weathered and slightly damaged. These are to be inspected and repaired as required.	7.00	m	£195.00	£1,365.00
	Flashing	No flashing can be seen from ground level. A high-level survey will be required to determine the presence of any flashing.				No works
	Vegetation	No vegetation can be seen from ground level.				No works
	Staining	There is very limited staining to this elevation as the rainwater goods do not appear to be as damaged as on the north elevations, and it may have been cleaned prior to this project. No cleaning required.				No works
Rainwater Goods	Gutter	Due to the lack of staining on the elevation the box/valley gutter behind the parapet wall does not appear to be damaged/blocked. A high level survey will be required to confirm this.	7.00	m	£48.75	£341.25
	Downpipe	There no downpipes to be surveyed on this elevation.				No works
Windows & Doors	Windows	There are no windows to be surveyed on this elevation.				No works
	Doors	There are no doors to be surveyed on this elevation.				No works
TOTAL						£5,567.25

Rear Elevation

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total	
Wall	Misc.	There are several inappropriate/disused items (metallic plates, aerials, satellites) fixed to the rear elevation. These are to be carefully removed and disposed of.	5.00	no.	£87.75	£438.75	
	Brickwork	The brickwork to the gable end of the Hall appears to be in good condition with very limited spalling or damage. If any badly damaged/spalling bricks are found they are to be removed and reinstated with bricks to match the existing. (Provisional sum)	1.00	item	£1,657.50	£1,657.50	
	Pointing		The pointing over the whole elevation of the ground floor extension has been poorly completed. It is to be carefully dug out to an approved depth and reinstated with an approved mortar.	25.00	m2	£214.50	£5,362.50
			The top half of the gable end at 1st floor level is evidently receding. This area of brickwork is to be repointed with an approved mortar.	11.00	m2	£165.75	£1,823.25
	Stonework/Concrete		The stone bricks on the ground floor extension appear to be in good condition. Part of a mixed construction that also includes historic and new brickwork, they do not appear to be suffering from damage.				No works
	Flashing		There is no flashing evident at the time of survey, though it had recently snowed. Once this has cleared there may be lead flashing visible. (Provisional sum)	1.00	item	£585.00	£585.00
	Vegetation		There is vegetation growing from the ground floor extension. This is to be carefully removed, ensuring no damage is done to the masonry it is growing from.	1.00	m2	£29.25	£29.25
Staining		There is some green staining on the masonry of the ground floor extension. Any staining is to be carefully cleaned from the elevation.	1.00	m2	£146.25	£146.25	
Rainwater/ Waste Goods	Gutter	The modern gutter is to be removed and reinstated with a length of appropriate cast iron gutter.	5.00	m	£136.50	£682.50	
	Downpipe	The modern downpipe is to be removed and reinstated with an appropriate cast-iron gutter.	5.00	m	£175.50	£877.50	
Windows & Doors	Windows	There are no windows on the rear elevation.					
	Doors	The double fire doors appear to be in good condition. As they are fire doors they do not necessarily need to be reinstated with historic doors.				No works	
TOTAL						£11,602.50	

Ground Floor - RG01

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Mezzanine	Existing mezzanine floor and access stairs to be removed from site and disposed of appropriately, including the associated lighting underneath.	16.00	m2	£39.00	£624.00
	Lighting	There are two modern lights on either side of the blind window, two in the ceiling above the mezzanine floor, four to the left of D1 and a large light above W1. These are to be carefully removed from site and disposed of.	9.00	no.	£19.50	£175.50
	HVAC	Fan heater over D1 is to be isolated, removed and disposed of.	1.00	no	£58.50	£58.50
	Wall Fixings	In the area beyond the mezzanine floor and on the southern wall there are several hooks and nails screwed into the wall. These are to be removed and the plaster beneath repaired as appropriate.	10.00	no.	£33.15	£331.50
	Wiring & Trunking	Primarily on the west elevation there are sections of trunking either side and above W1. These are to be carefully removed, ensuring the wiring within is isolated, and disposed of appropriately.	5.00	m	£29.25	£146.25
Wall	Cubicle Dividers	Existing cubicle dividers beneath mezzanine floor are to be removed and disposed of.	3.00	no.	£146.25	£438.75
	Plasterboard	Existing plasterboard wall finish beneath mezzanine floor and within the western window reveal is to be carefully removed so as to not cause any damage to the original/historic walls.	28.00	m2	£39.00	£1,092.00
	Wall Finish & Damage	Following the removal of the mezzanine floor, stairs and the plasterboard, the walls beneath are to be inspected for damage and repaired as necessary. (Provisional sum)	1.00	item	£975.00	£975.00
	Decoration	Following all repairs, walls are to be finished with white paint.	165.00	m2	£16.58	£2,734.88
Ceiling	Ceiling Finish	The existing ceiling finish and surrounding coving appears to be appropriate and in good condition. No damage to note at time of survey.	40.50	m2		No works
	Decorations	Following all repairs, ceiling is to be finished with white paint.	40.00	m2	£16.58	£663.00
Floor	Existing Floor Finish	Existing modern inappropriate timber floor covering to be removed from site and disposed of.	40.00	m2	£19.50	£780.00
	Historic Floor	Following the removal of the existing floor finish, the historic floor beneath is to be inspected for damage and repaired as required. No damage noted at this time. (provisional sum)	40.00	m2	£39.00	£1,560.00
Windows	W1 - West Elevation	Internal hoarding to be removed and disposed of appropriately. Existing timber-frame window and glazing to be removed and disposed of.	1.00	no.	£48.75	£48.75
	Blind Window - South Elevation	New historically appropriate timber-frame window to be designed and installed.	1.00	no.	£5,284.50	£5,284.50
		Wallpaper to be removed from blind window and wall beneath inspected for damage.	8.00	m2	£21.45	£171.60
D1 - External Door	Boarding over D1 and flanking windows is to be carefully removed and disposed of. Following removal of fan heater and wiring/trunking (detailed below).	1.00	no.	£97.50	£97.50	

Doors	D2 - Between RG01 & RG07		Existing door to be cleaned of all paint and inspected for damage and repaired as necessary. Door to be finished in appropriately specified paint following cleaning and repairs.	1.00	no.	£682.50	£682.50
			The internal door to RG07 has been removed. This is to be reinstated with a door designed with traditional details.	1.00	no.	£1,345.50	£1,345.50
TOTAL							£17,209.73

Ground Floor - RG02 & RG03

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Lighting	The spotlights in the false ceilings of both rooms are to be disconnected and removed by a qualified electrician.	6.00	no.	£19.50	£117.00
	HVAC	There is a curtain heater fitted over the door between RG02 and RG03. this is to be safely disconnected and removed.	1.00	no	£58.50	£58.50
Wall	Partition Wall	Partition wall between RG02 & RG03 to be removed, including modern double doors.	7.50	m2	£39.00	£292.50
	Display Wall	Existing display wall on north side of RG02 is to be carefully removed from site and disposed of.	5.25	m2	£19.50	£102.38
	Wall Finish	The paint is to be carefully cleaned from all walls to reveal the historic finish beneath. If damaged the walls are to be repaired as required.	30.00	m2	£11.70	£351.00
	Decoration	Following all repairs, walls are to be finished with white paint.	30.00	m2	£16.58	£497.25
Ceiling	False Ceiling	The false ceiling in both rooms is to be carefully removed so as to not cause further damage to the historic ceiling above it.	12.00	m2	£19.50	£234.00
	Historic Ceiling	Following the removal of the false ceiling the historic ceiling above is to be inspected for damage and repaired as required. (provisional sum)	12.00	m2	£78.00	£936.00
	Decoration	Following all repairs, ceiling is to be finished with white paint.	12.00	m2	£16.58	£198.90
Floor	Trapdoor	There is a trapdoor in the floor of RG02. This is to be investigated as to where it leads. The set of stairs in RB09 do not appear to be in the right place to terminate at the trapdoor. (Provisional Sum)	1.00	m2	£292.50	£292.50
	Floor Finish	The existing carpet flooring in both rooms is to be carefully taken up and disposed of.	12.00	m2	£19.50	£234.00
	Historic Floor	Following the removal of the existing carpet the floor beneath is to be inspected for damage and repaired as necessary. (provisional sum)	12.00	m2	£39.00	£468.00
Wind'						No works
Doors	D1 - Between RG02 & RG03	The set of modern double doors between RG02 & RG03 are to be removed and disposed of.	1.00	no.	£78.00	£78.00
	D2 - Between RG03 & RG07	The set of modern double doors between RG02 & RG03 are to be removed and disposed of. Any approved design may then require a new set of double doors designed to fit the historic doorway. (PC Sum to supply)	1.00	no.	£2,421.90	£2,421.90
	DG3 - Between RG03 & RG05	The existing door between RG03 and RG05 has some historic moulding details on the RG03 side, but appears to be an inappropriate modern door from the RG05 side, suggesting the door itself is inappropriate. This is to be removed and reinstated with a traditional timber door with the appropriate historic details. (PC Sum to supply)	1.00	no.	£1,384.50	£1,384.50

<p>DG4 - Between RG03 & RG01</p>		<p>The survey of RG01 has shown that the door shown in RG03 is currently covered from that side and appears to be inappropriate. Following the removal of the cubicles/plasterboard from the RG01 side, the doors are to be removed and reinstated with a set of double doors designed with the appropriate historic details.</p>	<p>1.00</p>	<p>no.</p>	<p>£2,382.90</p>	<p>£2,382.90</p>
<p>TOTAL</p>						<p>£10,049.33</p>

Ground Floor - RG04

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc.	Fixtures & Fittings	All cloakroom fixtures are to be removed and disposed of. (Provisional sum)	1.00	item	£195.00	£195.00
	Lighting	The lighting panels in the false ceiling are to be safely disconnected and removed.	2.00	no.	£19.50	£39.00
Wall	Temporary Wall	The temporary wall that has been installed against the window wall is to be removed carefully so as to not damage the window behind it.	14.50	m2	£48.75	£706.88
	Partition Wall	The partition wall situated in the centre of the room is to be dismantled and removed.	15.00	m2	£24.38	£365.63
	Wall Finish	All walls are to be cleaned of black paint, ensuring no damage is done to the historic walls beneath it. They are to then be inspected for damage and repaired as required. No damage is noted at this time. (Provisional Sum)	48.00	m2	£39.00	£1,872.00
	Decoration	Following all repairs, walls are to be finished with white paint.	48.00	m2	£16.58	£795.60
Ceiling	False Ceiling	The existing false ceiling is to be carefully removed and disposed of.	18.00	m2	£19.50	£351.00
	Historic Ceiling	Following the removal of the false ceiling the historic ceiling above is to be inspected and repaired as required. As it could not be seen during the survey no damage is noted at this juncture. (provisional sum)	18.00	m2	£78.00	£1,404.00
	Decoration	Following all repairs, ceiling is to be finished with white paint.	18.00	m2	£16.58	£298.35
Floor	Existing Floor Finish	Existing modern inappropriate floor covering to be removed from site and disposed of.	18.00	m2	£19.50	£351.00
	Historic Timber Floor	Existing historic timber floor is still in place beneath the modern covering. Following the removal of the modern covering the timber floor is to be inspected and repaired as necessary. (provisional sum)	18.00	m2	£39.00	£702.00
Windows	W1 - West Elevation	The external hoarding is to be removed in conjunction with the removal of the internal temporary wall that is obscuring the window at the moment. We will assume at this juncture that the window is inappropriate, as the same window is in RG01. It is to be removed in its entirety.	1.00	no.	£48.75	£48.75
		New historically appropriate timber-frame window to be designed and installed.	1.00	no.	£5,284.50	£5,284.50
Doors	D1 - External Door	This door may be historic, but has been horizontally cut in half and had a shelf fixed to it when it was converted into a cloakroom. This door is to be removed in its entirety and a new door reinstated.	1.00	no.	£5,118.75	£5,118.75
TOTAL						£17,532.45

Ground Floor - RG05 & RG06

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Sink & Fixed Unit	The sink and fixed unit by the door through to RG03 are to be carefully removed and disposed of.	2.00	no.	£195.00	£390.00
	Wiring Centre	The wiring in the entire building is the result of several generations of hurried installations. It is recommended that the wiring is stripped right back to its source in RG06. A qualified electrician can then determine whether the wiring centre can be re-used. (Provisional Sum)	1.00	item	£97.50	£97.50
	Wiring	There is a large amount of wiring and trunking in RG05, circling the room, that is to be isolated and removed by a qualified electrician.	20.00	m	£19.50	£390.00
Wall	Wall Finish in RG05	The existing red/orange paint finish in RG05 is modern, inappropriate, and in poor condition. It is to be carefully cleaned from all surfaces so as to not cause any further damage to the walls beneath.	46.00	m2	£11.70	£538.20
	Historic Wall in RG05	Following the removal of the modern paint, the wall beneath is to be inspected for damage and repaired. (provisional sum)	46.00	m2	£39.00	£1,794.00
	Wall Finish in RG06	The existing walls in RG06 are in poor condition. Due to the extent of the damaged plaster this schedule has specified the removal of all existing wall finish and the reinstatement of an appropriate plaster finish.	30.00	m2	£68.25	£2,047.50
	Decoration	Following all repairs, walls in RG05 & RG06 are to be finished with white paint	76.00	m2	£16.58	£1,259.70
Ceiling	Ceiling Finish	The existing ceiling finish in RG06 is to be completely removed and the structure/joists above inspected for damage, as the condition survey noted water ingress damage. Once completed, the ceiling is to be reinstated as appropriate.	4.00	m2	£117.00	£468.00
	Decoration	Following all repairs, ceiling in RG06 is to be finished with white paint.	4.00	m2	£16.58	£66.30
Floor	Rubble/Dirt in RB06	Rubble/dirt to be cleared from floor of RB06 and area beneath inspected for damage.	3.50	m2	£9.75	£34.13
	Floor in RG05	The existing floor in RG05 is of solid construction and in good condition, though needs to be thoroughly cleaned ensuring not to damage the floor material beneath.	24.00	m2	£19.50	£468.00
Wind'						No works
Doors	D1 - Between RG05 & RG06	This door has been removed completely. A traditional door is to be designed and installed. (PC Sum to supply)	1.00	no.	£692.25	£692.25
	D2 - Between RG05 & RG07	This traditional door has been removed, though the historic doorway has been retained, including the arched top section that would house a fanlight/hopper window. The modern door and boarding over the fanlight are to be carefully removed and a traditional door and fanlight designed and installed. (PC Sum to supply)	1.00	no.	£1,524.90	£1,524.90
	D3 - Between RG05 & Basement	The existing door between RG05 and the basement is modern and damaged. It is to be removed and reinstated with an appropriate traditional door. (PC Sum to supply)	1.00	no.	£1,384.50	£1,384.50

TOTAL

£11,154.98

Ground Floor - RG07

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	HVAC	There are several HVAC units fixed either to the timber boxing on the north side or to the elevation on the south side. These are to be disconnected and removed.	4.00	no.	£78.00	£312.00
	Lighting	There are several lights fixed to the trusses on the north and south sides of the room, and several more lights fixed to the elevation on the east and west sides. These are to be disconnected and removed.	8.00	no.	£19.50	£156.00
	Boxing and Cables	The timber boxing and the cables that run along both the north, south and west walls just beneath the pilaster corbels are to be removed, ensuring the cables have been made safe.	46.00	m	£19.50	£897.00
	Fireplace 01 - South Elevation, West Side	The stone fireplace has been left unpainted. There are various signs of damage to the stone that are to be repaired using an appropriately specified material. <i>(Provisional sum)</i>	1.00	no.	£487.50	£487.50
	Fireplace 02 - South Elevation, East Side	The fireplace has been boarded over. This is to be removed and the fireplace inspected and cleaned out. For the purposes of this schedule we will assume the fireplace and associated chimney do not need to be made functional. <i>(Provisional sum)</i>	1.00	no.	£292.50	£292.50
	Fireplace 02 - South Elevation, East Side	This fireplace has been painted in the same manner as the rest of the walls. All paint is to be carefully cleaned from it. There are some obvious sections of damage to the stone, and once the paint has been cleaned from it and any other damage is noted these are to be repaired using the appropriately specified material. <i>(Provisional sum)</i>	1.00	no.	£295.43	£295.43
	Lift	The fireplace has been boarded over. This is to be removed and the fireplace inspected and cleaned out. For the purposes of this schedule we will assume the fireplace and associated chimney do not need to be made functional. <i>(Provisional sum)</i>	1.00	no.	£292.50	£292.50
		In order to provide disabled access to the 1st floor conference centre, a small lift is to be installed in RG07. The exact location for this lift has not yet been determined. Capacity for AT LEAST one person with wheelchair. <i>(Provisional sum)</i>	1.00	no.	£13,650.00	£13,650.00
Wall	Mirrors	Modern mirrors fixed to the walls in the recesses are to be removed and disposed of.	10.00	no.	£29.25	£292.50
	Wall Finish	Existing posters, debris and black paint wall finish is to be cleaned from all walls using the approved method so as to not cause further damage to the wall beneath.	300.00	m2	£23.40	£7,020.00
	Decoration	Following all repairs, walls are to be finished with white paint.	300.00	m2	£16.58	£4,972.50
ing	Ceiling/Truss Finish	In conjunction with walls, existing black paint is to be cleaned from vaulted ceiling using the approved method and the historic material beneath inspected for damage. <i>(Provisional quantity)</i>	110.00	m2	£39.00	£4,290.00
	Timber Trusses	The arched timber trusses are largely in good condition, though one section above the viewing balcony is damaged/rotting. This section of timber is to be cut out a new section spliced in.	1.00	m2	£877.50	£877.50

Ceil	Damage to Panels	There are some sections of angled and vertical timber panels beneath the roof windows that are damaged and have holes in them. These timber panels, if they cannot be repaired in place, are to be removed and reinstated. For the purposes of this schedule we will assume any damage can be repaired in place. (Provisional Sum)	1.00	m2	£877.50	£877.50
	Decoration		Following all repairs, ceiling is to be finished with white paint.	110.00	m2	£16.58
Floor	Existing Flooring	The existing flooring in the entire room is in poor condition and inappropriate. This is to be removed in its entirety. It appears as though the floor joists in the solid section of the floor are modern as well and have been laid in poured concrete. Decision is to be made as to whether the modern floor joists can be left in place.	233.00	m2	£19.50	£4,543.50
	Flooring Reinstatement	Following the removal of the modern timber floor finish, an appropriate timber floor system is to be installed in its place. For the purposes of this schedule we will assume this can be installed on the existing floor joists. (PC Sum to supply)	233.00	m2	£117.00	£27,261.00
Wind'	12 x Roof Windows	Boarding over roof windows is to be removed. Windows are to be inspected for damage/leaks and repair as required. The condition survey and structural survey noted that at least 2/3 of the windows are leaking and will require major repairs. (provisional sum)	12.00	no.	£630.00	£7,560.00
Doors	D1 - Double Doors to East Elevation	Existing modern doors to east elevation and boarding above are to be removed and disposed of. Appropriate historic double doors are to then be designed and installed. (PC Sum to supply)	1.00	no.	£6,776.25	£6,776.25
	Other Doors	The doors through to RG01, RG03 and RG05 have been detailed in their respective schedules.				
TOTAL						£82,676.93

Ground Floor - RG08, 09, 10 & 11

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Plumbing & Drainage	The existing plumbing and drainage furniture/pipes are to be disconnected and removed from site. (Provisional sum)	1.00	item	£975.00	£975.00
	Lighting & Security	All spotlights and security furniture (sensors/cameras) are to be safely disconnected and removed from site. (Provisional sum)	1.00	item	£682.50	£682.50
Wall	Wall Finish	Existing tile finish and black paint to be removed/cleaned from all walls, ensuring no damage is caused to any original walls.	126.00	m2	£19.50	£2,457.00
	Cubicles	Any partition walls used for cubicles are to be dismantled and removed from site.	4.50	m2	£24.38	£109.69
	Historic Walls	Following the removal of all existing finishes and modern cubicles, the walls beneath are to be inspected for damage and repaired as necessary. (provisional sum)	126.00	m2	£39.00	£4,914.00
	Decoration	Following all repairs, walls are to be finished with white paint.	126.00	m2	£16.58	£2,088.45
Ceiling	False Ceiling	The existing false ceiling is to be taken down and removed from site. The historic ceiling above can then be inspected for damage and repaired as necessary.	35.00	m2	£42.90	£1,501.50
	Decoration	Following all repairs, ceiling is to be finished with white paint.	35.00	m2	£16.58	£580.13
Floor	Floor Finish	Existing modern bathroom floor finish is to be carefully taken up and the floor beneath inspected to see if it is historic and/or damaged.	35.00	m2	£73.13	£2,559.38
Wind'						
Doors	Doors Between RG10 and RG08, RG09 & RG11	The existing doors through to all three rooms are modern. These are to be removed and reinstated with doors designed to match the period of the building.	3.00	no.	£2,421.90	£7,265.70
TOTAL						£23,133.34

First Floor - RF01

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	HVAC Unit	The existing curtain heater over the door accessing RF03 is to be carefully removed from site and disposed of.	1.00	no.	£58.50	£58.50
	Lighting	The inappropriate light over the door to RF03 and the light sitting on the floor by the right-hand window are to be removed from site and disposed of.	2.00	no.	£19.50	£39.00
	Fireplace 01 - South Side	The paint finish is to be carefully cleaned from the fireplace, so no further damage is caused. Although it appears to be in good condition beneath the paint, following its removal the entire fireplace is to be inspected for damage and repaired using the appropriate methods. (Provisional sum)	1.00	no.	£292.50	£292.50
	Fireplace 02 - North Side	The paint finish is to be carefully cleaned from the fireplace, so no further damage is caused. Although it appears to be in good condition beneath the paint, following its removal the entire fireplace is to be inspected for damage and repaired using the appropriate methods. (Provisional sum)	1.00	no.	£292.50	£292.50
Wall	Wall Finish	Existing paint finish is to be carefully cleaned from all four walls via the approved method so as to not cause any further damage to the wall beneath. The walls are to then be inspected for damage and repaired as required.	201.00	m2	£11.70	£2,351.70
	Damage to Plaster	The damage to the plaster from water ingress on the north side of the room is to be removed and the wall beneath inspected for damage. A traditional plaster is then to be specified and reinstated.	10.00	m2	£68.25	£682.50
	Decoration	Following all repairs, walls are to be finished with white paint.	201.00	m2	£16.58	£3,331.58
Ceiling	Ceiling Finish	Existing paint finish is to be carefully cleaned from the ceiling via the approved method so as to not cause any further damage to the material beneath.	76.00	m2	£11.70	£889.20
	Missing Coving	There is a section of missing coving above the right-hand window. This is to be reinstated to match the existing coving.	1.00	m	£146.25	£146.25
	Decoration	Following all repairs, ceiling is to be finished with white paint.	76.00	m2	£16.58	£1,259.70
Floor	Existing Floor Finish	The condition survey has shown that the historic timber floor is still in-situ beneath the modern floor carpet/laminate. The existing floor finishes are to be carefully removed so as to not cause any further damage to the material beneath.	76.00	m2	£19.50	£1,482.00
	Historic Timber Floorboards	Following the removal of the modern carpet/laminate the historic timber floor is to be inspected for damage and repaired as required.	76.00	m2	£13.65	£1,037.40
W1 - Right-Hand		The covering on the top section of the window is to be removed in order for them to be inspected. It appears as though the top row and flanking windows on the bottom row are original/historic. Any cracked glazing is to be repaired as required.	1.00	no.	£48.75	£48.75
		The central bottom window is in very poor condition and appears to be modern. Historic images showed this had a sliding sash. Following the removal of the existing window an appropriate replacement is to be designed and installed. (PC Sum to supply)	1.00	no.	£4,582.50	£4,582.50

Windows	W2 - Central	The covering on the top section of the window is to be removed in order for them to be inspected. It appears as though the top row are original/historic. Any cracked glazing is to be repaired as required.	1.00	no.	£48.75	£48.75
			1.00	no.	£4,582.50	£4,582.50
	W3 - Left-Hand	The covering on the top section of the window is to be removed in order for them to be inspected. It appears as though the top row are original/historic. Any cracked glazing is to be repaired as required. The bottom row of windows are a different design to the W1. These are to be removed and reinstated with windows of an appropriate design. (PC Sum to supply)	1.00	no.	£48.75	£48.75
			1.00	no.	£4,582.50	£4,582.50
Doors	D1 - Between RF01 & RF02	The door between RF01 and RF02 and the associated door frame are to be cleaned of all paint. Subsequently the door is to be inspected for damage and repaired. Care is to be taken as the upper two panels are glazed.	1.00	no.	£117.00	£117.00
	D2 - Between RF01 & RF03	The door between RF01 and RF03 and its associated door frame are to be cleaned of all paint. Subsequently the door is to be inspected for damage and repaired. The modern ironmongery is modern and is to be removed and reinstated with appropriate fixtures.	1.00	no.	£234.00	£234.00
TOTAL						£26,107.58

First Floor - RF02

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Lighting	The modern strip lights are to be carefully removed from the ceiling and disposed of appropriately.	2.00	no.	£29.25	£58.50
	Wiring & Trunking	There are several cables and sections of trunking either loose, fixed to the wall or even running through the wall or ceiling. All cables and trunking sections are to be isolated, removed and disposed of.	6.00	m	£97.50	£585.00
	Other	The broken heating fixture on the south wall, the shelves on the west wall and any other broken/inappropriate items are to be removed and disposed of. (Provisional Sum)	1.00	item	£156.00	£156.00
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Wall	Wall Finish	The existing inappropriate red/orange paint finish is to be cleaned from all walls, without causing any further damage to the wall beneath.	55.00	m2	£11.70	£643.50
	Damage to Wall	There are some small sections of wall that have been damaged to allow wires to run through it. Following the removal of the cables the walls are to be repaired as required.	0.25	m2	£78.00	£19.50
	North Wall to Window Bay	Following the repair of any structural damage to the window, the north wall of the bay the window sits in is to be reinstated in the same fashion as the rest of RF02.	9.00	m2	£23.40	£210.60
	Decoration	Following all repairs, walls are to be finished with white paint.	55.00	m2	£16.58	£911.63
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Ceiling	Ceiling Finish	The existing inappropriate red/orange finish is to be carefully cleaned from the ceiling and the surrounding coving.	18.50	m2	£19.50	£360.75
	Holes in Ceiling	There is a hole in the ceiling close to the currently block doorway to RF03. There are also several smaller holes/indentations in various places and most likely damage from where the modern lights are fixed. These are to be repaired to match the existing ceiling construction.	0.50	m2	£58.50	£29.25
	Ceiling to Window Bay	Following the repair of any structural damage to the window, the ceiling of the bay the window sits in is to be reinstated in the same fashion as the rest of RF02.	2.50	m2	£23.40	£58.50
	Decoration	Following all repairs, ceiling is to be finished with white paint.	18.50	m2	£16.58	£306.64
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Floor	Floor Finish	The condition survey has shown that the historic timber floor is still in-situ beneath the modern floor carpet/laminate. The existing floor finish is to be carefully removed so as to not cause any further damage to the material beneath.	18.50	m2	£19.50	£360.75
	Historic Timber Floorboards	Following the removal of the modern carpet/laminate the historic timber floor is to be inspected for damage and repaired as required.	17.00	no.	£29.25	£497.25
	Floor to Window Bay	Following the repair of any structural damage to the window the floor in front of it (currently with a decking on top of it or part of it) is to be reinstated with the same timber floorboards as the rest of RF02.	2.50	m2	£140.40	£351.00
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Windows	W1 - East Elevation		The bars currently fixed to the window, the platform in front of it and the modern timber framing system to the left and above the window are to be removed and disposed of. (Provisional Sum)	1.00	item	£292.50	£292.50
			Following the removal of all modern items the window is to be repaired. The angle the window is currently sitting at suggests the surrounding bay is structurally damaged. This will need to be repaired prior to any other repairs taking place (Provisional Sum)	1.00	no.	£390.00	£390.00
Doors	D1 - Between RF02 & RF03		Th doorway through to RF03 is currently blocked. This is to be unblocked and a traditional door designed and installed.	1.00	no.	£1,443.00	£1,443.00
TOTAL							£6,674.36

First Floor - RF03

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc.	Lighting	There is a square light fixture on the ceiling that is to be removed and disposed of.	1.00	no.	£19.50	£19.50
	Fixtures	There are several fixtures (Fire Escape Signs etc.) fixed to the walls. These are to be removed and disposed of.	4.00	no.	£97.50	£390.00
Wall	Wall Finish	Following the removal of all fixtures (detailed separately) the existing paint finish is to be cleaned from the walls. The walls are to be inspected for damage and repaired as appropriate.	19.00	m2	£33.15	£629.85
	Decoration	Following all repairs, walls are to be finished with white paint.	19.00	m2	£16.58	£314.93
Ceiling	Ceiling Finish	The existing paint finish is to be carefully cleaned from the ceiling via the approved method.	5.00	m2	£11.70	£58.50
	Ceiling Damage	There is a large hole in the ceiling next to the existing light fixture, and a smaller one at the juncture with the wall where several wires are running through. Following the removal of the light, any damage left behind and the hole itself are to be repaired as appropriate.	0.50	m2	£58.50	£29.25
	Decoration	Following all repairs, ceiling is to be finished with white paint.	19.00	m2	£16.58	£314.93
Floor		There are some sections of carpet/timber on the floor that are to be removed. Otherwise the historic timber floor beneath appears to be in good condition. Unless an inspection identifies any necessary repairs, it is to be left as it is.	21.50	m2	£19.50	£419.25
Wind'						
Doors	D1 - Between RF03 & RF01	The door has been detailed in the schedule for RF02.				
	D2 - Between RF03 & RF02	The door has been detailed in the schedule for RF01.				
TOTAL						£2,176.20

First Floor - RF04

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc. Plumbing & Drainage		The existing plumbing and drainage furniture/pipes are to be disconnected and removed from site.	1.00	item	£487.50	£487.50
Wall	Wall Finish	Existing tiles and paint finish are to be removed/cleaned from all walls, ensuring no damage is caused to any original material beneath.	15.50	m2	£19.50	£302.25
	Historic Walls	Following the removal of all existing finishes and bathroom furniture, the walls beneath are to be inspected for damage and repaired as necessary. The water/damp ingress behind the existing pipework is to be inspected and repaired.	15.50	m2	£204.75	£3,173.63
	Decoration	Following all repairs, walls are to be finished with white paint.	15.50	m2	£16.58	£256.91
Ceiling	Ceiling Finish	The existing ceiling is to be cleaned of all paint and inspected for damage. It appears to be in good condition except for where the pipework runs through it in the far corner.	2.00	m2	£11.70	£23.40
	Decoration	Following all repairs, ceiling is to be finished with white paint.	2.00	m2	£16.58	£33.15
Floor	Floor Finish	The existing WC floor finish is to be removed and disposed of.	2.00	m2	£19.50	£39.00
	Historic Floor	Following the removal of the existing floor material the historic floor beneath is to be inspected and repaired as required. No damage is noted at point of survey.	2.00	m2	£29.25	£58.50
Wind'	W1 - External	The external window appears to be in good condition with no repairs required.	1.00	no.		No works
Doors	Door D1 - To Stairwell	The door to access RF04 from the stairwell landing is in good condition and has been simply detailed with four panels. All paint is to be cleaned from it and any damage repaired as	1.00	no.	£117.00	£117.00
TOTAL						£4,491.34

First Floor - RF05

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc.						
Wall	Wall Finish	In conjunction with similar work to RG07, the paint is to be cleaned from the walls on the viewing balcony, and the walls beneath inspected for damage.	25.00	m2	£33.15	£828.75
	Decoration	Following all repairs, walls are to be finished with white paint.	25.00	m2	£16.58	£414.38
Ceiling	Ceiling Finish	The existing finish is to be cleaned from the ceiling so as to not cause further damage to the material beneath.	4.50	m2	£11.70	£52.65
	Decoration	Following all repairs, ceiling is to be finished with white paint.	4.50	m2	£16.58	£74.59
Floor	Floor Finish	Until recently heavy machinery was situated on the viewing balcony. There is still a large amount of rubble and detritus that needs to be removed from site and disposed of. Following this the floor is to be inspected for damage and repaired as necessary.	4.50	m2	£28.28	£127.24
Wind'						
Doors	D1 - To Stairwell	The existing door appears to be historic. It is to be removed and the paint cleaned from it. The door itself does not appear to be damaged, though some of the ironmongery has been removed. Any damaged/missing ironmongery is to be reinstated with traditional door furniture.	1.00	no.	£741.00	£741.00
TOTAL						£2,238.60

First Floor - Stairwell

Notes for pricing

For the purposes of this schedule the stairwell will include the stairs from the ground to the first floor (RG03) in its entirety, including the landings to access RF04 and RF05.

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc.	Lighting	There are two modern light fixtures, above the stairs where they change direction and next to the ceiling window. These are to be removed and disposed of.	2.00	no.	£19.50	£39.00
	Bannister & Fixtures	The balustrade, newel posts and all other fixtures of the banister running up the stairs are in relatively good condition, though they need to be cleaned of all paint and decoration. (Provisional sum)	1.00	item	£975.00	£975.00
	Wiring	There are several lengths of wiring fixed to the wall at various points. These are to be disconnected and disposed of.	10.00	m	£19.50	£195.00
Wall	Wall Finish	Once all of the cables and fixtures are removed from the walls (detailed above), all inappropriate paint is to be carefully cleaned from the elevation before it is checked for damage and repaired as required.	75.00	m2	£33.15	£2,486.25
	Stone Columns & Supports	The stone supports with intricate detailing that runs alongside the stairs is in very good condition. The stone cornice running along the top has been partially damaged/chipped and is to be repaired using an appropriate material.	0.50	m2	£52.50	£26.25
	Decoration	At ground floor level the stone have been painted blue up to the level of the stairs. This is to be carefully cleaned from the	4.00	m2	£25.35	£101.40
		Following all repairs, walls are to be finished with white paint.	75.00	m2	£16.58	£1,243.13
Ceiling	Ceiling Finish	The ceiling above the stairwell and surrounding the ceiling light is mostly in good condition, though there is some cracking surrounding the ceiling light. The paint is to be cleaned from all surfaces, ensuring no damage is caused, before it is inspected and repaired as required.	16.50	m2	£33.15	£546.98
	Decoration	Following all repairs, ceiling is to be finished with white paint.	16.50	m2	£16.58	£273.49
Floor	Stair Treads	The stair treads of the entire flight appear to be in very good condition. They are to be cleaned of all accumulated grime and bird remains/faeces and inspected for damage.	30.00	no.	£17.55	£526.50
	Landings	Both landings (leading to RF04 and RF05 respectively) are in very good condition. They are to be cleaned of all bird remains/faeces and inspected for damage.	6.00	m2	£16.58	£99.45
		On the landing from which the door to RF04 is situated, the timber casement of the landing (opposite the stone cornice) is separating from the landing. It is to be repaired.	0.50	m2	£48.75	£24.38
Windows	Ceiling Window Frame	The frame of the large stained glass ceiling window above the staircase is in remarkably good condition. All debris is to be removed from it and dirt cleaned from it. This schedule assumes no repairs are required to the glazing bars. (Provisional sum)	1.00	item	£17.55	£17.55
	Ceiling Window Glazing	Most of the stained glass is missing from the ceiling window. Any missing glazing is to be reinstated to continue the design of the remaining panels.	6.00	m2	£487.50	£2,925.00

Doors	D1 & D2 - To RF04 & RF05		These doors have been detailed in their relevant schedules.				
TOTAL						£9,479.36	
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Basement - RB01

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc. Cables		There are several cables penetrating the ceiling. Due to their location in the basement they are not interfering with any proposed finish at this juncture and can be left as is.	9.00	m	£48.75	£438.75
Wall Wall Finish		The masonry walls of this room have been left unfinished. They appear to be in good condition with some water penetration. The walls are to be cleaned of all dirt and grime. Any severely damaged bricks are to be reinstated with similar replacements, and any water ingress is to be inspected. No damage noted in initial survey.	30.00	m2	£82.88	£2,486.25
Partition Wall		The partition wall in between RB01 and RB02 is in good condition, and until a final use for the two rooms has been chosen there is no need to remove it. It is to be left in place.				No works
Decoration		Following all repairs, walls are to be finished with white paint.	30.00	m2	£16.58	£497.25
Ceiling Ceiling Finish		The arched masonry ceiling of this room has been left unfinished. It appears to be in good condition with no obvious water penetration. The ceiling is to be cleaned of all dirt and grime.	27.50	m2	£11.70	£321.75
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	27.50	m2	£82.88	£2,279.06
Decoration		Following all repairs, ceiling is to be finished with white paint.	27.50	m2	£16.58	£455.81
Floor Floor Finish		All dirt and grime is to be cleaned from the floor. The tile finish is to then be inspected and any individual tiles are to be reinstated. (Provisional sum)	27.50	m2	£107.25	£2,949.38
Wind'			/	/		
Doors D1 - Between RB01 & RB10		This door has been removed. Depending on the final use of RB01 a door can be reinstated in its place.	1.00	no.	£1,384.50	£1,384.50
D2 - Between RB01 & RB02		This door in between RB01 and RB02 is modern and was most likely installed when the partition wall was built between the two rooms. It is in good condition and can be left in place.	1.00	no.		No works
TOTAL						£10,812.75

Basement - RB02

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc. Desk		The large desk is to be dismantled and removed.	1.00	no.	£48.75	£48.75
Wall		The masonry walls have largely been plastered, and all of the walls have been painted white. They do not appear to be damaged in any way. There is some mild staining in the recess on the west wall that may have been from damp penetration though there does not appear to be any at the time of survey. <i>(Provisional Sum)</i>	20.00	m2	£23.40	£468.00
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.				No works
		The partition wall in-between in between RB01 and RBO2 has been surveyed in the RB01 schedule. The partition wall in between RB02 and RB03 is in good condition with no repairs required.	11.50	m2		No works
Decoration		Following all repairs, walls are to be finished with white paint.	20.00	m2	£16.58	£331.50
Ceiling		The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration.	13.00	m2		No works
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	13.00	m2		No works
		Following all repairs, ceiling is to be finished with white paint.	13.00	m2	£16.58	£215.48
Floor		All dirt and grime is to be cleaned from the floor. The tile finish is to then be inspected and any individual tiles are to be reinstated.	13.00	m2	£107.25	£1,394.25
Wind'			/	/		
Doors		The door in the partition wall in between RB02 and RB03 is in good condition with no repairs required.	1.00	no.		No works
TOTAL						£2,457.98

Basement - RB03

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc. Electricity Meter		The electricity meter, several fuse boxes and lengths of cables are housed in RB03. As these are still in use, care is to be taken when undertaking any repairs.				Noted
Wall		The masonry walls have been partially plastered, and all of the walls have been painted white. They do not appear to be damaged in any way. There is some mild staining in the recess on the west wall and surrounding the electrical installation that may have been from damp penetration though there does not appear to be any at the time of survey. This will need to be inspected to ensure the electrics are not in danger from water penetration.	16.00	m2	£39.00	£624.00
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.				No works
Decoration		Following all repairs, walls are to be finished with white paint.	16.00	m2	£16.58	£265.20
Ceiling		The arched masonry ceiling of this room has been partially plastered and painted white. It appears to be in good condition with no obvious water penetration.	5.50	m2		No works
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	5.50	m2		No works
Decoration		Following all repairs, ceiling is to be finished with white paint.	5.50	m2	£16.58	£91.16
Floor		All dirt and grime is to be cleaned from the floor. The tile finish is to then be inspected and any individual tiles are to be reinstated.	5.50	m2	£107.25	£589.88
Wind'			/	/		
Doors		The door in between RB02 and RB03 has been surveyed in the schedule for RB02.	/	/		No works
TOTAL						£1,570.24

Basement - RB04

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous		Equipment & Debris The large piece of equipment in the centre of the floor, the safe in the corner and the various bits of disused equipment are to be removed and disposed of. The same can be done with the various bits of rubbish in the corner of the room. (Provisional sum)	10.00	no.	£487.50	£4,875.00
		Generator (?) There is a large piece of equipment in the far right corner of the room. Its use is unknown so it is to be investigated to confirm its use. At this juncture, it and the pipes attached to it are to be left in place. (Provisional sum)	1.00	item	£292.50	£292.50
Wall		Wall Finish The masonry walls of this room have been left unfinished. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place. There is some water penetration that will need to be inspected, though does not appear to be serious.	42.00	m2	£33.15	£1,392.30
		Decoration Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey. Following all repairs, walls are to be finished with white paint.	42.00	m2	£16.58	£696.15
Ceiling		Ceiling Finish The arched masonry ceiling of this room has been left unfinished. It appears to be in good condition with no obvious water penetration. The ceiling is to be cleaned of all dirt and grime.	17.50	m2	£11.70	£204.75
		Decoration Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.	17.50	m2		No works
		Following all repairs, ceiling is to be finished with white paint.	17.50	m2	£16.58	£290.06
Floor		Floor Finish All dirt and grime is to be cleaned from the floor. The solid floor is to be inspected for damage and repaired as required. No damage noted at time of survey.	17.50	m2	£107.25	£1,876.88
Wind'			/	/		
Doors		Doors A timber frame has been installed for the door through to RB10. This door appears to be historic and in good condition. Until the final use of the Hall can be confirmed the door can be left as it is.	1.00	no.		No works
TOTAL						£9,627.64

Basement - RB05

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous		Pub/Bar/ Nightclub Fixtures	1.00	item	£780.00	£780.00
		Pipe	5.00	m	£48.75	£243.75
Wall		Wall Finish	29.00	m2	£33.15	£961.35
		Partition Wall	9.50	m2		No works
		Decoration	29.00	m2	£16.58	£480.68
Ceiling		Ceiling Finish	17.50	m2	£11.70	£204.75
		Decoration	17.50	m2	£16.58	£290.06
Floor		Floor Finish	17.50	m2	£107.25	£1,876.88
Wind'						
Doors		D1 - Between RB05 & RB06	1.00	no.		No works
TOTAL						£4,837.46

Basement - RB06

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	High	There are two large generators(?) sitting on the floor that we can assume were also associated with the Halls use as a nightclub. These are to be investigated, disconnected and removed. The same can be done with all other fixtures (blackboard etc). (Provisional Sum)	1.00	item	£975.00	£975.00
		A large metal pipe runs horizontally the full length of this room. It is to be investigated but otherwise it is to be left in place.	5.50	m	£48.75	£268.13
Wall	High	The masonry walls of this room have been left unfinished although they have been painted white. They appear to be in good condition, though there is some obvious water penetration that will need to be inspected. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place.	36.00	m2	£33.15	£1,193.40
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.				No works
	Low	Following all repairs, walls are to be finished with white paint.	36.00	m2	£16.58	£596.70
Ceiling	High	The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration.	37.00	m2	£11.70	£432.90
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.				No works
	Low	Following all repairs, ceiling is to be finished with white paint.	37.00	m2	£16.58	£613.28
Floor	High	All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	37.00	m2	£107.25	£3,968.25
Wind'						
Doors	High	There is no door installed, and does not appear to have been one. Dependant on the final use of the Hall, a door is to be designed and installed. (PC Sum to supply)	1.00	no.	£546.00	£546.00
TOTAL						£8,593.65

Basement - RB07

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Kitchen Fixtures	The kitchen cupboards and surfaces are in very poor condition and are to be dismantled and removed. (Provisional sum)	1.00	item	£585.00	£585.00
	Lighting	In conjunction with the false ceiling being removed the modern lighting fixture is to be disconnected and removed.	1.00	no.	£19.50	£19.50
	Closet/Cupboard	This small area under the stairs is in relatively good condition, though could easily be removed if deemed unnecessary. (Provisional sum)	1.00	no.	£97.50	£97.50
Wall	Wall Finish	The solid walls have been plastered and painted. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime and left as they are.	14.00	m2	£33.15	£464.10
	Partition Wall	A partition wall has been installed to separate RB07 from RB08 & RB09. It is in fairly poor condition. Depending on the final use of the Hall and this space, the wall could be removed.	10.00	m2	£48.75	£487.50
	Decoration	Following all repairs, walls are to be finished with white paint.	14.00	m2	£16.58	£232.05
Ceiling	False Ceiling	The false ceiling is in poor condition and has signs of mould by the light fixture. It is to be completely removed.	10.00	m2	£19.50	£195.00
	Historic Ceiling	The historic ceiling is to be investigated once the false one is removed. Any damage or damp penetration is to be repaired.	10.00	m2	£78.00	£780.00
	Decoration	Following all repairs, ceiling is to be finished with white paint.	10.00	m2	£16.58	£165.75
Floor	Kitchen Platform	A temporary platform has been constructed for the kitchen cupboards to stand on. This is to be dismantled and removed in conjunction with the rest of the kitchen.	4.50	m2	£19.50	£87.75
	Floor Finish	All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	10.00	m2	£107.25	£1,072.50
Wind'						
Doors	D1 - Between RB07 & RB08	This is a modern door and part of the partition wall. If the wall is removed the door will be removed as well.	1.00	no.	£19.50	£19.50
TOTAL						£4,206.15

Basement - RB08 & RB09

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Miscellaneous	Bathroom Furniture	The bathroom furniture in RB08, including all surfaces, timber framing and pipework, is to be carefully disconnected, dismantled and removed from site. (Provisional sum)	1.00	item	£487.50	£487.50
	Stairs	The stairs leading from RB09 to the ground floor have been boarded over. It is not clear where they access on the ground floor though the floor layouts suggest it may be RG01. The trapdoor in RG02 is not in quite the right location. This is to be investigated and if necessary, the stairs can be reinstated. (Provisional sum)	1.00	item	£7,507.50	£7,507.50
Wall	Damaged Plaster	The walls have been plastered and painted an inappropriate orange in RB09, as was found in various rooms on the ground and first floors. The plaster is in poor condition in some places and is to be carefully removed and re-plastered using an appropriately specified replacement.	2.00	m2	£58.50	£117.00
	Wall Finish	The paint is to be cleaned from all walls using the approved method so no further damage is caused to the plaster beneath. The timber cladding in RB08 is to be removed as well.	20.00	m2	£44.85	£897.00
	Decoration	Following all repairs, walls are to be finished with white paint.	20.00	m2	£16.58	£331.50
Ceiling	Ceiling Finish	The orange paint is to be cleaned from the ceiling via the approved method so no further damage is caused to the ceiling above.	10.50	m2	£11.70	£122.85
	Decoration	Following all repairs, ceiling is to be finished with white paint.	10.50	m2	£16.58	£174.04
Floor	Floor Finish	All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	10.50	m2	£107.25	£1,126.13
Wind'						
Doors	D1 - Between RB08 & RB09	This is a modern door and frame and installed as part of the bathroom installation. It is to be removed in line with the rest of the bathroom furniture.	1.00	no.	£331.50	£331.50
TOTAL						£11,095.01

Basement - RB10

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc. Signage & Fixtures		All modern signage and fixtures are to be carefully removed. (Provisional Sum) (approx. 5/10)	1.00	item	£975.00	£975.00
Wall		The masonry walls of this room have been left unfinished although they have been painted white. They appear to be in good condition with no obvious water penetration. The walls are to be cleaned of all dirt and grime. The cables fixed to the far wall are to be left in place.	22.50	m2	£23.40	£526.50
		Any severely damaged bricks are to be reinstated with similar replacements. No damage noted in initial survey.				No works
		Following all repairs, walls are to be finished with white paint.	22.50	m2	£16.58	£372.94
Ceiling		The arched masonry ceiling of this room has been left unfinished though it has been painted white. It appears to be in good condition with no obvious water penetration.	18.00	m2	£11.70	£210.60
		Following all repairs, ceiling is to be finished with white paint.	18.00	m2	£16.58	£298.35
Floor		All dirt and grime is to be cleaned from the floor. The solid finish is to be inspected for damage and repaired as required. No damage noted at time of survey.	18.00	m2	£107.25	£1,930.50
Wind'						
Doors		Gate - Between RB10 & Stairs	1.00	no.		No works
TOTAL						£4,313.89

PROJECT ADDRESS: WESTGATE HALL
DATE: 11TH JUNE 2021

Roof

Notes for pricing

Components	Priority	Description of Repairs	Quantity	Unit	Rate	Total
Misc.						
Tiles		The condition and structural surveys noted that the slate roof tiles (that can be seen on the southern aspect of the roof) are mostly in place, though are weathered. A roofing specialist will be required to determine the extent of any necessary reinstatement. (Provisional sum) (allow for survey only) (approx. 400m2)	1.00	item	£975.00	£975.00
Structure		The structural survey noted that the timber roof structure may require extensive repairs and a specialist roofing contractor will be required to conduct a high level survey to note whether the roof can be repaired or is to be removed and reinstated. (Provisional sum) (allow for survey only) (approx. 400m2)	1.00	item	£1,464.45	£1,464.45
Wind'		Previously noted in the Schedule of Repairs for RG07, the 12 hexagonal roof windows are showing signs of water ingress in several locations and all windows will need to be inspected for repairs.	12.00	no.		See RG07
TOTAL						£2,439.45

Appendix F

Project Examples & Proposed Uses Options Appraisal of Westgate Hall



Conception Architects

Previous Examples

Foxlowe Arts Centre – Leek, Staffordshire

Website: <https://foxloweartscentre.org.uk/>

The Foxlowe was originally a house built in the 1770's for Thomas Mills (attorney) and was significantly added to in 1920 for a Trades & Labour Club and HQ for the local Textile Union, this included a concert room on the ground floor and a ballroom on the 1st floor.

- **Cafe (this is a separate company (Foxlowe Trading)):** This was set up by the trust and pays VAT.
- **Room Hire and Functions:** They have 6 rooms of different sizes that can be hired out. Main Function Room (180 seated), Ball Room (80 seated), Cafe (50 seated), Bar (20 seated), William Morris Room (15 seated) and Orangery (6 seated). All but the cafe can be arranged for standing.
- **Creative Hub/Rentals:** The second floor was repaired and refurbished and along with some rooms on the 1st floor the Arts Centre now has 9 studios and a Union Room which has 6 fixed desks that are rented along with 2 tables for hot desking. They also rent out a space to Cabbage Rose for children and adult workshops and on the ground floor a shop space to Fox & Crow selling local artists work of a high Cali record. We have achieved 100% occupancy by making sure the rent is a reasonable cost per M2 this differs for instance the Fox and Crow pay more for a ground floor shop space next to the main door.
- **Arts:** Each area has its own volunteer coordinator, and these include Comedy, Film, Music, Theatre, Gallery, Talks. Volunteer Coordinators also include Maintenance, Volunteers, IT, marketing and Gardens.
- **Pledgers/grants/donations and legacies:** As a grass roots organisation we rely on the support of around 190 supporters who pay what they can which roughly equate to £10pm each, the original campaign was to support the Arts Centre by donating the cost of a cup of coffee per week. We hold a supporters evening once a year, email or deliver a news leaflet 6 times a year and give pledgers and volunteers an hours' notice of A list tickets going for sale. With the majority of Pledgers money and one-off donations we can further claim Gift Aid. We received an HLF grant for £100k which has gone to repair the majority of the pitched roofs and lime/sand render on the oldest part of the building.

They are volunteer led by Trustees who have a passion for the Arts and heritage of the building, and all are very proactive, Coordinators likewise are volunteers and lead a team of volunteers.



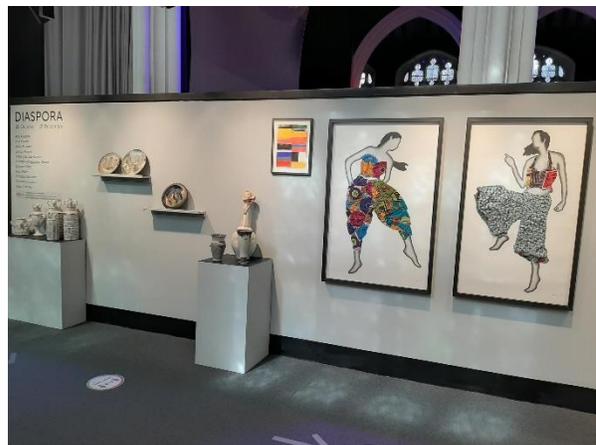
Salisbury Arts Centre - Salisbury, Wiltshire

Website: <https://www.wiltshirecreative.co.uk/whats-on/salisbury-arts-centre/>

The Salisbury Arts Centre is a venue for theatre, music, dance, comedy, family shows, exhibitions and workshops homed in the deconsecrated St Edmunds Church on Bedwin Street in the centre of Salisbury.

The Salisbury Festival of Arts was held in the deconsecrated church in 1974, at which point visitors were asked to suggest ideas for the building could be used. The Churches committee then agreed to grant use as an arts venue. This was then run by the St Edmunds Arts Trust, establishing a group of volunteers to coordinate exhibitions and craft workshops. Having received funding from the community and various sources to improve and repair the church, in 2018 the Arts Centre merged with Salisbury Playhouse and the Salisbury International Arts Festival to form Wiltshire Creative.

Currently, Wiltshire Creative provides opportunities for members of the community to experience the arts, and its main performance space can hold 164 people seated or 400 standing. It also has a studio space called the White Room that seats 60, a media space, a multi-purpose arts and crafts space, a pottery studio, an exhibition space, a café, a bar, and staff offices.



Dreel Halls - Fife, Scotland

Website: <https://www.dreelhalls.org/>

A historic building in Fife, Scotland that is run by the Anstruther Improvements Association and has two halls that are rented out for concerts, craft groups to game nights and exhibitions to regular weekly clubs.

“The Anstruther Improvements Association (AIA) is a local community charity, which aims to build a thriving and resilient community, improving Anstruther for all.

We run social, artistic, cultural and educational events and activities, manage some of the floral displays in Anstruther and provide small grants to local initiatives. In 2014 the AIA secured ownership of the former Wester Town and Hew Scott Halls from Fife Council and the Church of Scotland. Renamed the Dreel Halls, the spaces now host a wide range of community activities, based on the strengths and needs of the community. In 2016 the AIA launched the Anster Cinema, a community cinema in the Lower Hall that screens popular films at least once a month. 2018 saw the launch of the All-Ages Anster Cafe, an intergenerational monthly get-together.

The AIA is always looking for opportunities to make a difference and for ways to make Dreel Halls more relevant to the lives of people in Anstruther. In 2020, with funding from the National Lottery Community Fund, the AIA was able to employ a Community Development Worker, based at Dreel Halls.”

Dreel Halls Website, Future Plans (<https://www.dreelhalls.org/about/future-plans/>)



Brothers Brewery + Juke Joint BBQ – Auckland, New Zealand

Website: <https://brothersbeer.co.nz/pages/brothers-brewery-juke-joint>

Housing a craft brewery, restaurant, commercial kitchen and bar in a sensitively adapted 1960's warehouse, this building sits on the fringes of Auckland. It is located on the boundary between a mixed use and residential zones, with the latter dominated by Victorian character houses.

The brewery has been cleverly designed so that the public spaces are located towards the rear of the property, meaning that the warehouse and brewery act as a buffer between these spaces and the residential properties across the road.

When designing the public spaces, the architect and clients made sure that the original aesthetic of the warehouse was kept and enhanced, whilst introducing opposing materials in the new courtyards, where necessary, to provide a relief from the stark surfaces of the original building.



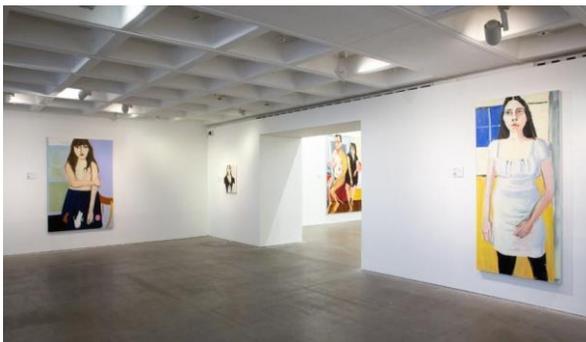
The Arnolfini – Bristol

Website: <https://arnolfini.org.uk/>

The Arnolfini, as an arts centre, was started in 1961 by Jeremy Rees with the assistance of his wife Annabel and the painter John Orsborn and was situated above a bookshop.

Bush House, originally a Victorian warehouse that stored tea, iron, and other products for nearly a century, became the home of the Arnolfini in 1975. The interior of the warehouse was completely gutted, ensuring that the Grade II listed external structure was retained and protected, and the property was refurbished by the design and build studio The JT Group, on the understanding that they refurbish it for mixed use, with the Arnolfini occupying the lower two floors and the separate offices being created above.

More recently, and as part of a two-year development that finished in 2005, the warehouse has been fully redeveloped to add another attic storey. The Arnolfini now occupies the lower three floors and the basement, and the upper floors are lease to aid running costs.



House of Vans – London

Website: <https://www.houseofvanslondon.com/>

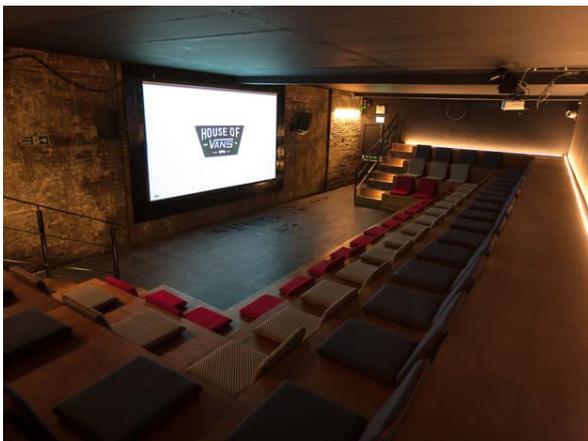
The House of Vans site in London sits within the 150-year-old brick arches of the railway lines heading to Waterloo Station and was previously occupied by the Old Vic Theatre. Comprised of 5 separate long tunnels that could not be structurally fixed to or damaged in any way during their conversion. The tunnels were divided down by use according to the requirements of the Client as follows;

A Tunnel for Art: A gallery with artist's labs to create and display art exhibitions. A new show is presented in this space every eight weeks and is free to attend.

A Tunnel for Film: A cinema and screening room capable of seating 100 people that hosts screenings, premieres, and webcasts. There is also a space at the far end of the tunnel with free partitioned workspaces for artists.

A Tunnel for Music: An 850-capacity gig venue with large bar facilities. Is known to host world-renowned acts and crowd pleasers.

Tunnels for Skateboarding: A skatepark for all levels of skateboarding ability are housed in Tunnels 4 and 5, with The Wall café to be found in Tunnel 4.



The Engine Shed - Bristol

Website: <https://engine-shed.co.uk/>

The Engine Shed is housed on three floors of Brunel's original station and utilises several avenues to create a hub where entrepreneurs, academics and students can collaborate, inspire, and enable one another. It is run as a collaboration between the University of Bristol and Bristol City Council.

4 Meeting Rooms: Separate meeting rooms in historic surroundings that can be used to host between 3 and 60 people.

3 Event Spaces: A range of spaces that offer areas for panels, networking, product launches and formal dinners.

2 Coworking Spaces: Both spaces offering a variety of desk spaces for individuals and organisations.

18 Offices: Available with options for permanent offices or flexible desk space.

The Engine Shed is a perfect example of an incubator business start-up space with associated kitchen and café facilities.



Historic Houses – Supporting and Protecting Britain’s Lived-In Heritage

Website: <https://www.historichouses.org/>

A company that exhibits historic properties for various uses including wedding venues, corporate hire and accommodation.

“Historic Houses is a cooperative association of independent historic houses and gardens. Our members have come together to speak with one voice, offer mutual aid and pool experiences and expertise, and encourage best practice. Explore the work we do to help our members look after Britain’s independent heritage today and for future generations.”

Proposed Uses

Option 1: Business Incubator for Start-Ups

Inspired by the Engine Shed in Bristol, Westgate Hall’s focus could be as a business incubator for startups, utilizing a mix of whole office and permanent desk rental space through to flexible hot desks.

Due to its location on the ground floor and as its only entrance is external, RG04 can be rented out as an individual retail unit or as an office for a small business. As you walk through the main doors and into RG07 this huge hall would provide an amazing space for a meeting area with a café and some flexible desk space for people to rent out on an hourly basis. With its own entrance into RG07 and then a separate external door, RG01 would provide another ideal retail space that the public and office-users could walk through on their way out or in.

As you work your way up to the 1st floor RF01 can be partitioned into separate workspaces/artist studios or be fitted with desks to be rented out on a long-term basis.

RB01 and RB02 in the basement would provide an ideal space for the archives to be housed in, whilst the other rooms in the basement can be leased as storage space, providing another steady revenue stream for the Hall.



starternoise.com



somewhereto.com



Akin Collective – Creative Studio Space

Option 2: Micro Brewery with Bar and Commercial Kitchen

Inspired by the Juke Joint + Brothers Brewery in Auckland, New Zealand, we believe that the size and height of RG07 would provide an incredible space to house a microbrewery with attached bar and restaurant. The actual equipment for the brewery itself can be housed towards the rear of the hall against the eastern wall on the solid floor.

The rest of the hall can then be converted into the main bar area and restaurant with commercial kitchens housed in RG01. RG04 is the perfect space to install a small beer/alcohol shop to sell the products of the microbrewery and specialty/craft beers.

On the 1st floor, RF01 would be used as a conference centre/meeting room that could be rented out daily, which would also benefit the kitchen and bar on the ground floor as they could provide refreshments and meals. RF02 could either be rentable office space or be used as the office for the microbrewery.

As with Option 1, RB01 and RB02 would house the archives. As the Hall has previously been used as a nightclub, it is clear that RB05 and RB06 were used as the beer cellar and for storage. Although the existing equipment is most likely out of date and faulty, it should be relatively easy to reinstate these rooms as beer cellar and storage for the microbrewery.



Brewing Systems, Brewery Equipment, Brauhaus Technik - Austria



Love Lane Brewery Bar & Kitchen - Liverpool



The Hop Vault - Stourbridge

Option 3: The Main Hall as a Wedding Venue/ Filming Location/ Exhibition Space/ Pop-Up Market

Option 3 would see the Hall being used for a range of different temporary uses to provide as many potential revenue streams as possible.

Wedding Venue: Once repaired and renovated RF01 would provide a beautiful location for a wedding ceremony, with the ornate staircase sweeping up from the ground floor and the carefully restored ceiling window bathing the whole stairwell in natural light. Once the ceremony is finished, the wedding party would move downstairs to the main hall which is large enough to seat a large group with a dance floor installed towards the eastern wall.

Film Location: With its historic architectural details, amazing hexagonal roof windows and incredible height, the main hall could be used as a filming location for a huge range of tv work or films.

Exhibition Space: Once repaired and renovation, the main hall would provide a wonderful space for an art exhibition, with the RF01 on the first floor being home to resident artists.

Pop-Up Market & Culinary Experience: As a combined use or undertaken separately, the main hall could be home to regular pop-up artisan markets and in the evenings, chefs could be invited to provide tailored culinary experiences with RG01 converted into a commercial kitchen.

The basement rooms (with RB01 and RB02 still used for archives) could be converted into storage for each of the options detailed above so that the main hall could be swapped between various uses quite easily.



Blenheim Palace - Oxfordshire



Newton Abbot Indoor Market



The London Biennale - Chelsea Old Town Hall

Appendix G

Proposed Use: Microbrewery with Bar, Restaurant and Conference Centre

Options Appraisal of Westgate Hall



Conception Architects

Final Proposed Uses

Ground Floor

RG07: Microbrewery, Bar & Restaurant

Following the removal of all modern and inappropriate decoration and the repair of the roof windows, RG07 would provide an amazing space for a bar & restaurant with an attached microbrewery.

The microbrewery could be housed either to the rear of the room (Option 1) or in a space ranged along the centre of the room (Option 2), acting as a soft separation for the bar and restaurant. We would envisage approximately 25m² being allotted to house the brewery, a space large enough to allow for all the equipment required for a 300L system (300L per batch, one batch taking 6-8 hours), and a small can/bottle filling system.



Cheeky Monkey Brewery, Boston



Archdaily - Dongli Brewery, Beijing



MKCitizen - Brewhouse & Kitchen, Milton Keynes



Three Dagers Brewery, Edington, Wiltshire

RG04: Beer Shop

RF04 is the ideal size for a beer shop that could be operated by the owners of the microbrewery and could be used to sell the products of said brewery, along with a range of different products that are bought in from other breweries and small-scale franchises.



Stourbridge News - The Hop Vault, Stourbridge



Surrey Live - Growlers & Cans, Guildford



Leeds List - The Hoptimist, Guiseley



The Curious Hop, Otley

RG01: Commercial Kitchen

Following the removal of the mezzanine floor and any necessary repairs, RF01 is to be retrofitted as a commercial kitchen to service the proposed restaurant in RG07 and to provide any refreshments for the occupants of the conference centre on the 1st floor.

RG01 benefits from its own external access to Westgate for any deliveries, it has direct access through to the proposed restaurant, and even has a separate door to RG02/03 that gives it easier access to the 1st floor without having to pass through the main restaurant/bar. Pending confirmation of its location it is believed that there is direct access to the basement (RB07/08) from RG01 that has been boarded over and is currently beneath the stairs for the mezzanine floor. If reinstated, this would provide additional storage space for the kitchen that could be accessed without having to cross through any public spaces.

First Floor

RF01: Conference Centre

Due to its commanding size and height, RF01 would provide the ideal space for a conference centre/meeting room to be rented out daily. The first floor also benefits from its own access from RF02/03 that means that the occupants do not have to walk through the bar/restaurant to access the conference centre. The size of RF01 means that if required, it can be divided down into smaller meeting rooms, separated by folding walls that are demonstrated in the Option 2 proposals.

RF02: Meeting Room or Storage

With access from both RF01 and RF03, RF02 can be used as either another office space to be rented out, as storage space for the tables/chairs etc. that would be required for RF01, or it can be kept as an office space to be used by the owners/tenants of Westgate Hall.

RF03: WC

Following the removal of the existing WC fittings and furnishings and the repair of any water and damp ingress that has been identified surrounding the existing downpipe, RF03 is to be reinstated as a WC to service the conference room proposed for RF01.

Basement

RB01 & RB02: Archive

As originally proposed, RB01 and RB02 are to be used to house the local archives. With their own entrance from RB10 (the main communal area from which most of the basement rooms branch off), these rooms could be secured against entry from the tenants of the rest of the Hall.

RB04: Bar/Restaurant Office & Staff Room

This room is disused at the moment, but once it has been cleared of all debris and unused equipment, it would provide the perfect size space for either an office or staff room for the microbrewery, bar and restaurant above.

RB05 & RB06: Beer Cellar & Storage

RB06 is currently still furnished with the equipment of a beer cellar, a call back to the days when Westgate Hall was a nightclub. Although the current equipment is most likely outdated and damaged, it does mean that this unit is suitable for fitting out as a beer cellar again.

RB05 is currently empty except for the large electrical/mechanical units related to the beer cellar furnishings in RB06. This would provide a versatile space to be used as a storage cellar for the bar/restaurant.

RB07: Kitchen Storage

As previously mentioned, we believe that the stairs from RB08 terminate in RG01. Once uncovered and if proven correct, RB07 could be retrofitted as kitchen storage, meaning that when supplies are brought directly in to RG01 from Westgate, there would be no need to carry them through any public spaces of the Hall as they could be brought directly down into the basement from the kitchen.

Customer Lift

To improve access to the first-floor conference centre/meeting room facilities it has been proposed that a 1–2 person lift could be provided. The main issue when considering the potential location is ensuring that a corresponding free space with direct access is available over all three floors. A potential location for a lift has been identified on the proposed layouts (both Options #1 and #2).

Basement

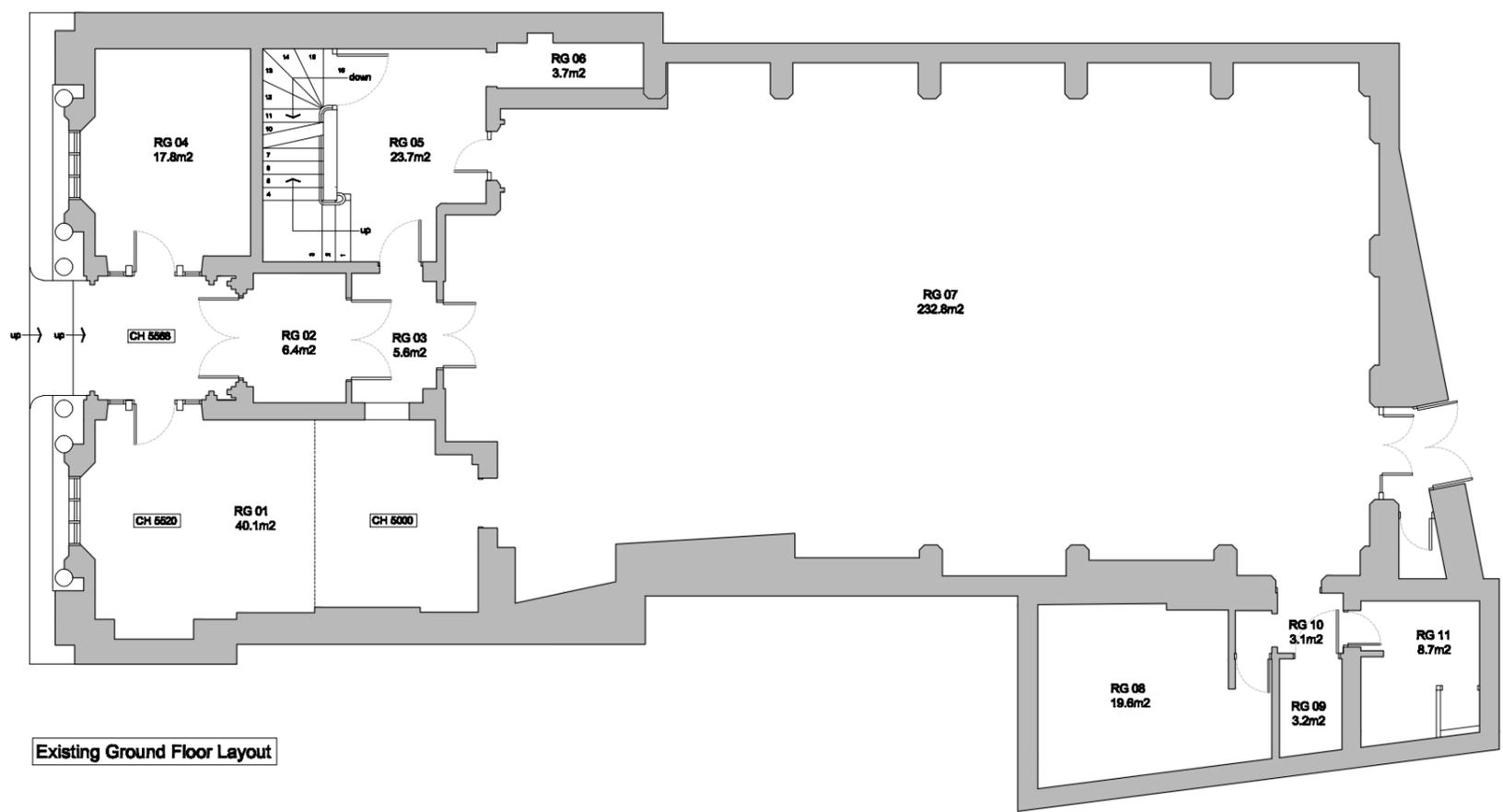
The proposed lift would be sited at the existing entrance to RB07. The main drawback with this proposal is that it would block the only existing entrance to RB07 from the rest of the basement level. The only remaining access would be via the currently blocked stairs to the ground floor.

Ground Floor

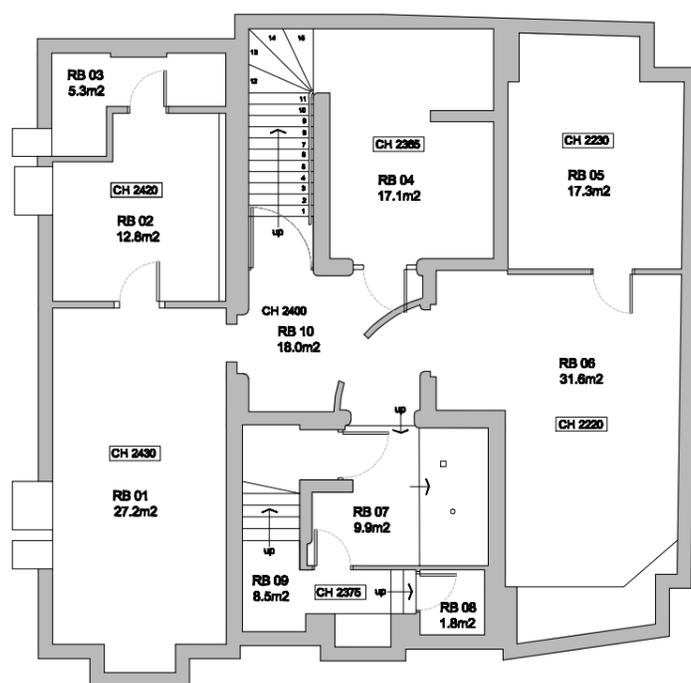
The proposed lift would be sited at the entrance to the commercial kitchen (RG01), blocking the access to the kitchen from the entrance hallway and reducing the room available in the kitchen. Although this would be a drawback, there would remain two access points into the kitchen.

First Floor

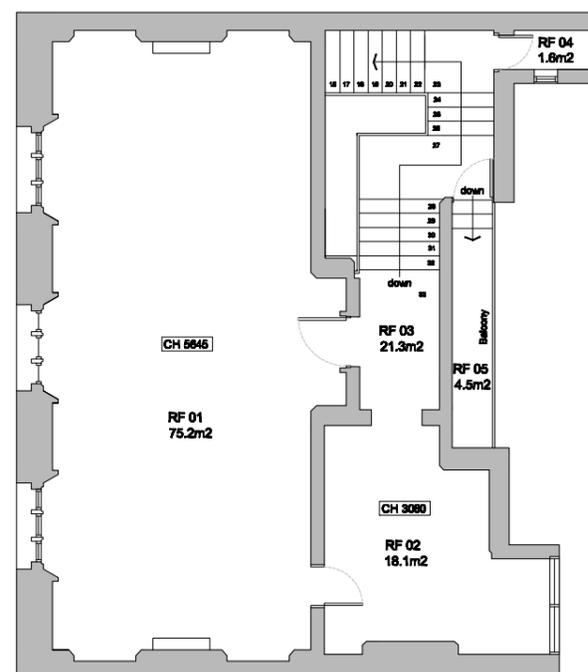
The proposed lift would be sited at the entrance to the smaller meeting room (RF02). The drawback to this proposal is that it would remove the only dedicated entrance to this room. The only other access point is via the main conference centre (RF01).



Existing Ground Floor Layout



Existing Basement Layout



Existing First Floor Layout

All dimensions are in millimeters unless otherwise stated.
 This drawing to be checked against all other relevant drawings and any dimensions are to be check on site.
 Do not scale from drawing.

DRAWING TITLE
 EXISTING LAYOUTS

SCALE DATE
 NTS 13/04/2021

PROJECT TITLE
 OPTIONS APPRAISAL FOR WESTGATE HALL

PROJECT ADDRESS
 Westgate
 Grantham
 NG31 6LT

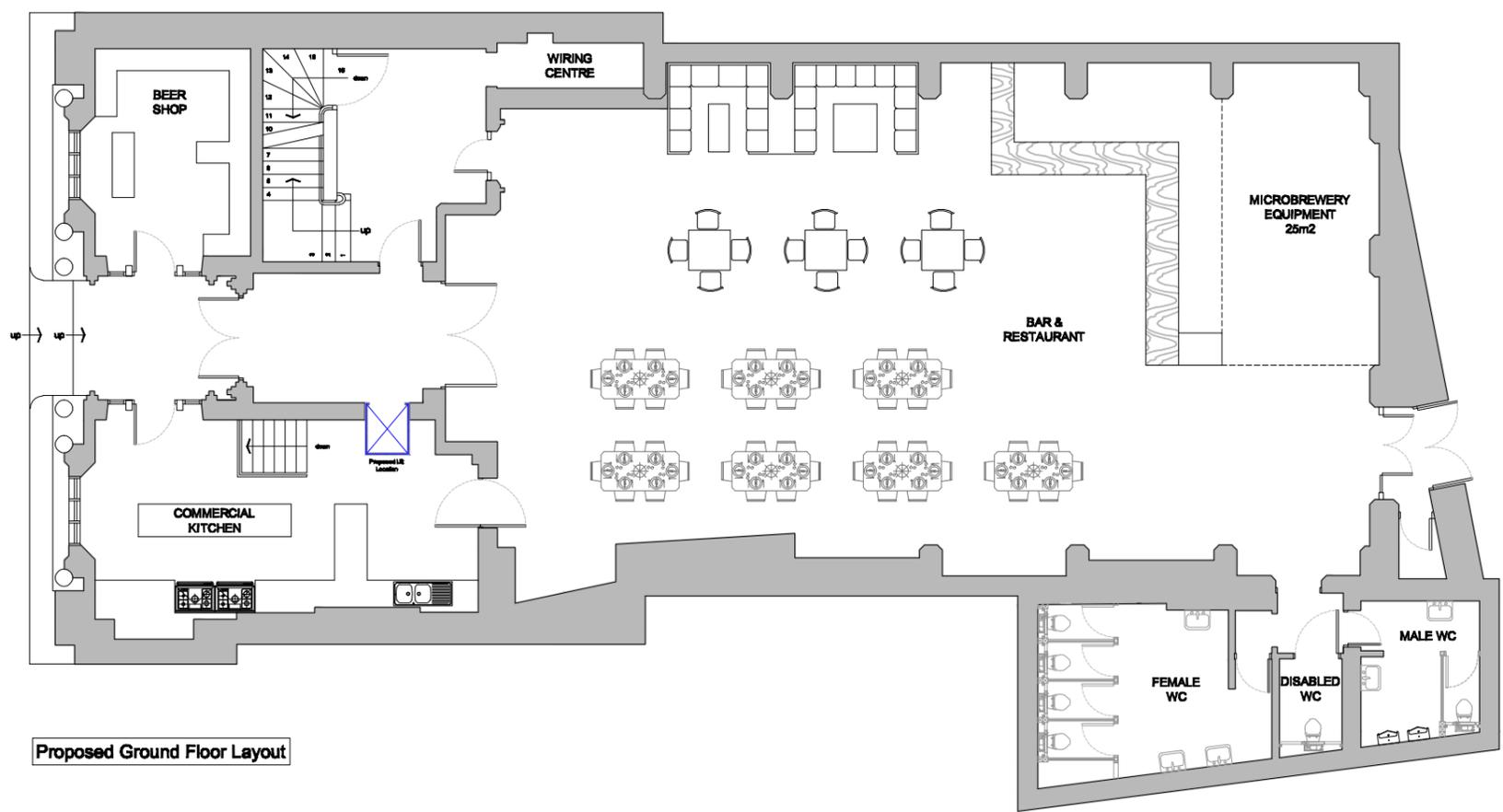
DRAWING NO.
 CA/1239/20/XX

REVISION

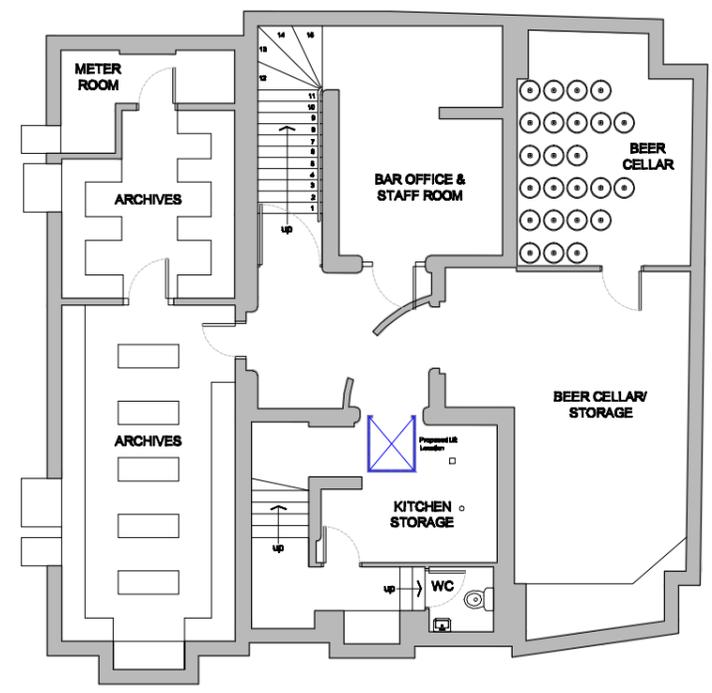
SCHEDULE/NOTES

CLIENT
 South Kesteven District Council
 Council Offices
 St Peters Hill
 Grantham
 NG31 6PZ

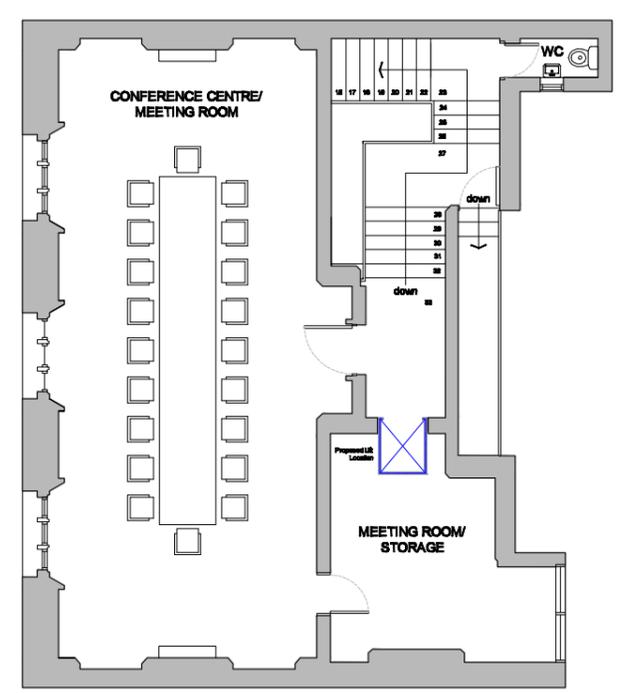
Conception Architects
 Gothic House
 Barker Gate
 Nottingham
 NG1 1JU



Proposed Ground Floor Layout



Proposed Basement Layout



Proposed First Floor Layout

All dimensions are in millimeters unless otherwise stated. This drawing to be checked against all other relevant drawings and any dimensions are to be check on site. Do not scale from drawing.

DRAWING TITLE
PROPOSED LAYOUTS - OPTION 1

SCALE DATE
 NTS 23/07/2021

PROJECT TITLE
OPTIONS APPRAISAL FOR WESTGATE HALL

PROJECT ADDRESS
 Westgate
 Grantham
 NG31 6LT

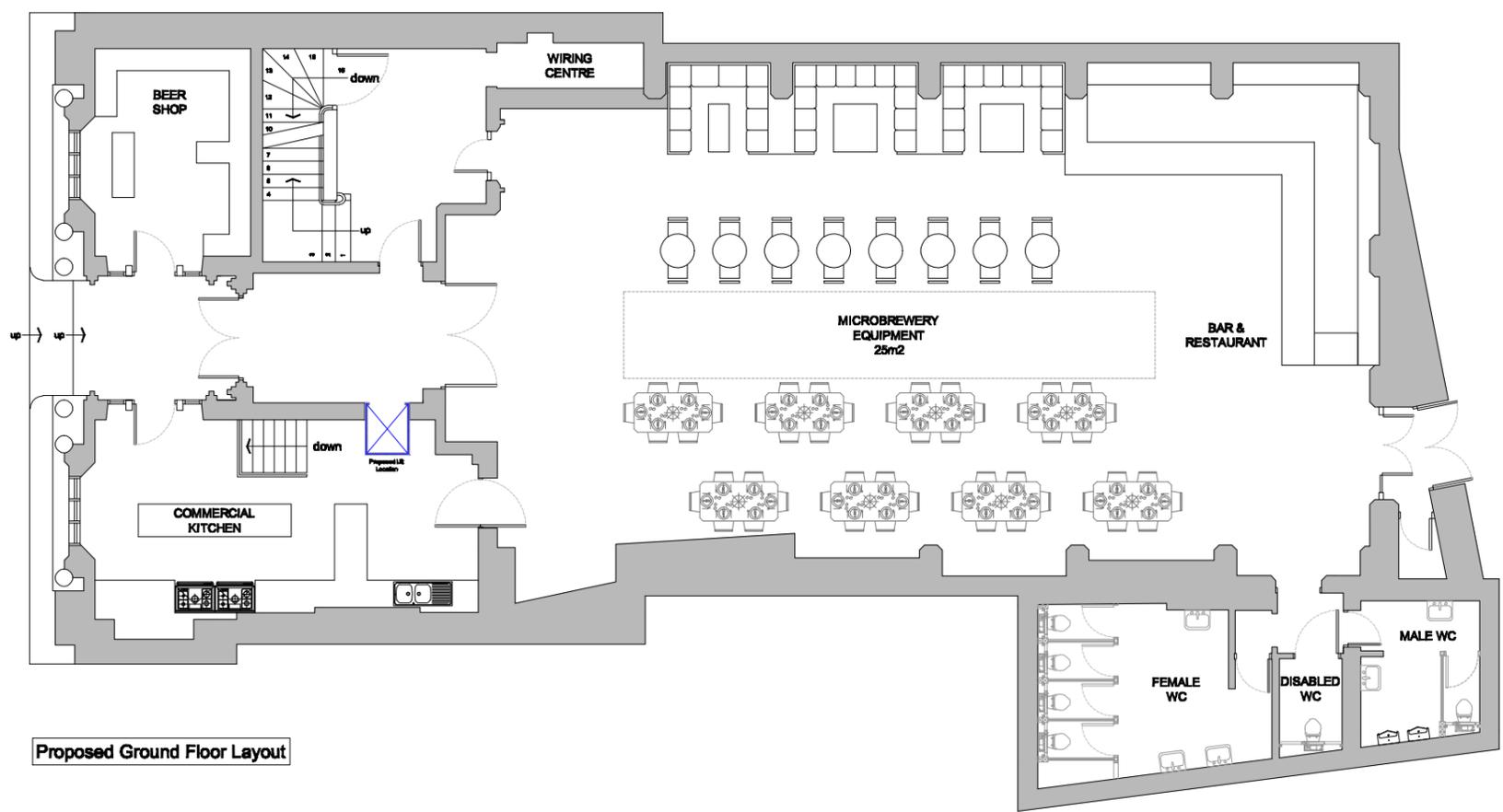
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 CA/1239/20/XX

REVISION

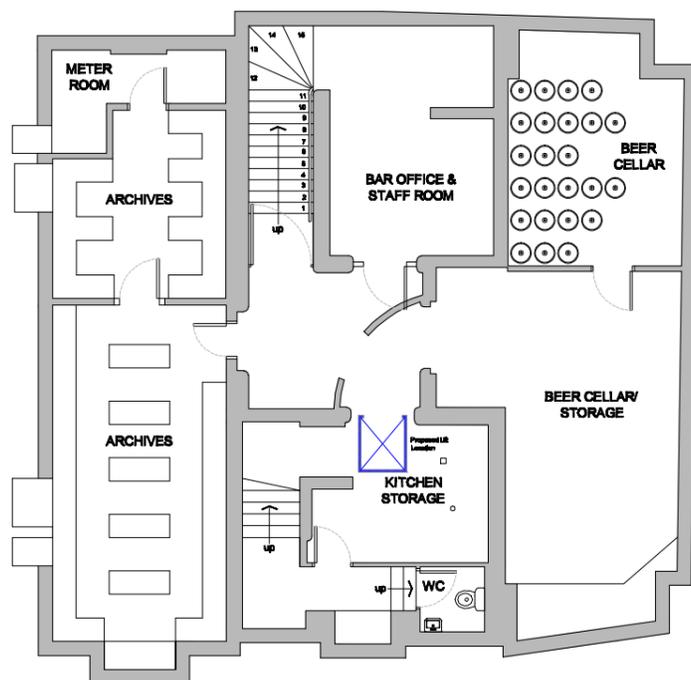
SCHEDULE/NOTES

CLIENT
 South Kesteven District Council
 Council Offices
 St Peters Hill
 Grantham
 NG31 6PZ

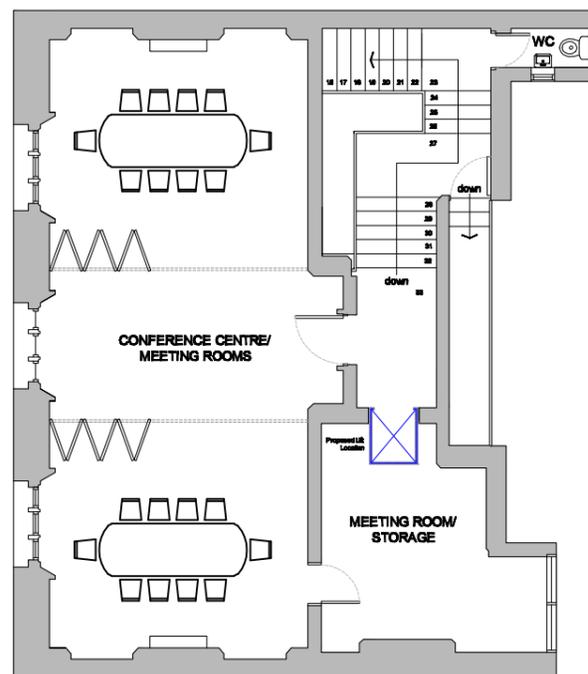
Conception Architects
 Gothic House
 Barker Gate
 Nottingham
 NG1 1JU



Proposed Ground Floor Layout



Proposed Basement Layout



Proposed First Floor Layout

All dimensions are in millimeters unless otherwise stated. This drawing to be checked against all other relevant drawings and any dimensions are to be check on site. Do not scale from drawing.

DRAWING TITLE
PROPOSED LAYOUTS - OPTION 2

SCALE DATE
 NTS 23/07/2021

PROJECT TITLE
OPTIONS APPRAISAL FOR WESTGATE HALL

PROJECT ADDRESS
 Westgate
 Grantham
 NG31 6LT

DRAWING NO.
 CA/1239/20/XX

REVISION

SCHEDULE/NOTES

CLIENT
 South Kesteven District Council
 Council Offices
 St Peters Hill
 Grantham
 NG31 6PZ

Conception Architects
 Gothic House
 Barker Gate
 Nottingham
 NG1 1JU

Appendix H

Innes England Valuation Report Westgate Hall



Conception Architects

July 2021

Valuation Report

Property:

Westgate Hall

Grantham

Lincolnshire

NG31 6LT

Prepared for:

Conception Architects

Gothic House

Barker Gate

Lace Market

Nottingham

NG1 1JU

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APPENDICES

- A Terms of Engagement
- B Options Appraisal
- C Existing & Proposed Layouts

Conception Architects
Gothic House
Barker Gate
Lace Market
Nottingham
NG1 1JU

For the attention of: **Dave Innes**

Property: **Westgate Hall, Grantham, Lincolnshire, NG31 6LT**

We report as follows:

1.0 INTRODUCTION

- 1.1 We refer to your instructions dated 13th January 2021 requesting a Valuation Report in respect of the freehold interest in the above property. We enclose within Appendix A a copy of our Terms of Engagement. Assumptions and any Special Assumptions are as per our Instructions and Terms of Engagement unless specifically amended or stated otherwise in the body this report.
- 1.2 This Report has been prepared for use in repair and reinstatement viability appraisals. This report is not suitable for loan security purposes.
- 1.3 This Report has been prepared in accordance with the RICS Valuation – Global Standards: (which incorporate the International Valuation Standards) Effective from 31st January 2020 and the RICS Valuation UK National Supplement effective from January 2019 (“the RICS Valuation Standards”).
- 1.4 Stephen Holland MRICS was responsible for the preparation of this report and confirms that he is an Independent Valuer in accordance with the RICS Valuation Standards. The Valuer also confirms that he is an RICS Registered Valuer and possesses sufficient skills, knowledge and understanding to undertake the valuation competently, objectively and without bias.
- 1.5 It is confirmed that we have no previous, current or anticipated involvement with the client or the property to be valued.
- 1.6 The property was inspected on 10th February 2021. There have been unforeseen and significant delays in the availability of supporting information required for this report, resulting in a variation to the previously agreed Terms of Engagement, specifically that the Date of Valuation is now to be taken as the date of inspection, rather than the date of this report. It has been agreed in supplementary email communication that the Valuation Date is therefore 10th February 2021. We would draw your attention to the fact that values change over time and a valuation given on a particular date may not be valid on an earlier or later date.
- 1.7 The assumptions agreed and the restricted nature of our investigations all as set out in the Terms of Engagement (copied at Appendix A) are important. If any of them prove to be inaccurate there may be an impact on value and that impact could be significant.
- 1.8 We are not aware a transaction is proposed in connection with this valuation.

2.0 ASSUMPTIONS

- 2.1 Other than as specifically commented upon herein, our valuation assumes that any specialist reports, tests or calculations would not reveal any material adverse conditions.
- 2.2 In providing our valuation advice, we shall make the following assumptions unless agreed with you in advance. If, after inspection or investigation, we consider an assumption to be inappropriate, or should be a special assumption, we shall discuss and agree these with you prior to the conclusion of the valuation and the delivery of the report.
- 2.3 Unless it is made apparent by our express statement to the contrary in the report, we will be under no duty to verify our assumptions. If any of them are subsequently found to not be valid, we may wish to review our valuation as there may be an impact on it.

Town and Country Planning

- 2.4 We have made only online investigations into planning matters. We have not undertaken a formal planning search.
- 2.5 Our valuation assumes that all buildings, structures and operations currently existing within the boundaries of the property or properties valued have the benefit of formal planning permission, building regulations and other required approvals without the burden of any unusually onerous restrictions or conditions, immune from any form of enforcement or action for termination by the relevant authorities. We have assumed that planning permissions are of a perpetual nature for the benefit of the property.
- 2.6 Unless stated otherwise in our report, we have assumed no major planning applications are either pending or recently granted in close proximity to the property of a nature likely to impact upon value or marketability.

Title and other Statutory Investigations

- 2.7 We have made no title or other statutory investigations and have assumed:
- a) That there is good and unencumbered title to the property corresponding to the tenure identified in 1.1, above, free from onerous covenants, easements, restrictions or other encumbrances or outgoings. Should there be any mortgages or charges, we have assumed that the property would be sold free of them. Unless stated otherwise we have not inspected the Title Deeds or Land Registry Certificate. Any legal assumptions made must be checked by your legal advisors and no responsibility or liability will be accepted for the true interpretation of your legal title in the property.
 - b) That we have been supplied with all information likely to have an effect on the value of the property, and that the information supplied to us and summarised in our report is complete and correct.
 - c) That any information provided by the Local and Statutory Authorities is correct and complete and that a local search would not reveal any matter that would have an adverse effect upon the value of the property, nor liability to the Client, or Client Lender (for a secured lending valuation);
 - d) That the property and any alterations or extensions thereto complies in all respects with current legislation affecting the property and its use, or its intended use.

- e) That the principal roads serving the property are adopted and maintainable at public expense and that there is unrestricted access to and from the subject property from the adopted highway.
- f) That there are no undue restrictions with a material effect on value. No investigations as to the rights of public utilities over any parts of the property have been carried out.
- g) That there is in place a reasonable Rating assessment. We have not investigated the Rateable Value.

Services

- 2.8 Unless informed otherwise we have assumed that the property has the benefit of mains water, electricity, drainage and gas. However, no tests or checks have been carried out with regard to these services and we have assumed that they are free from defect and would satisfy the requirements of any appropriate statutory bodies.
- 2.9 We have assumed that the capacity of the services is adequate for the future use of the property but may be unable to verify that this is the case.
- 2.10 In respect of development sites, we have assumed that all relevant services are available at the site and that water, electricity, drainage, gas and telecommunications can be connected at normal cost and that there are no on or off site, abnormal infrastructure or service provision costs which are required.

Contamination and Environmental Issues

- 2.11 We have assumed that no contaminative or potentially contaminative uses have ever been carried out in the property. We have not carried out any investigation into past or present uses, either of the property or on any neighbouring land, to establish whether there is any contamination or potential for contamination to the subject property from these uses or sites and have assumed that none exists.
- 2.12 We have not obtained an environmental report. We have assumed no significant radon risk.
- 2.13 However, should it be established subsequently that contamination, seepage or pollution exist at the property or on any neighbouring land, or that the property has been or is being put to a contaminative use, we reserve the right to amend the values reported and confirm that this situation would probably result in the values reported being reduced.
- 2.14 We have not investigated flood risk. We have assumed that the property is capable of obtaining full insurance without significant additional premium to cover flood risks and we have not made any adjustment to our valuation in respect of flood risk issues.
- 2.15 We have not carried out or commissioned a site investigation, geotechnical or geophysical survey and give no assurance of the ground's load bearing strength to support either existing structures or any other structure which may be erected in the future. We have assumed that any development or future extensions on the site can be carried out using conventional foundations and at no unusual or extraordinary costs.

3.0 INFORMATION PROVIDED

3.1 The client has provided the following documents:

- i. Condition survey and schedule of required conservation works draft 03/02 (undated).
- ii. Photographic survey to accompany condition survey (undated).
- iii. Cost Plan for Schedule of Repairs dated 11th June 2021 ("The Costs Schedule").

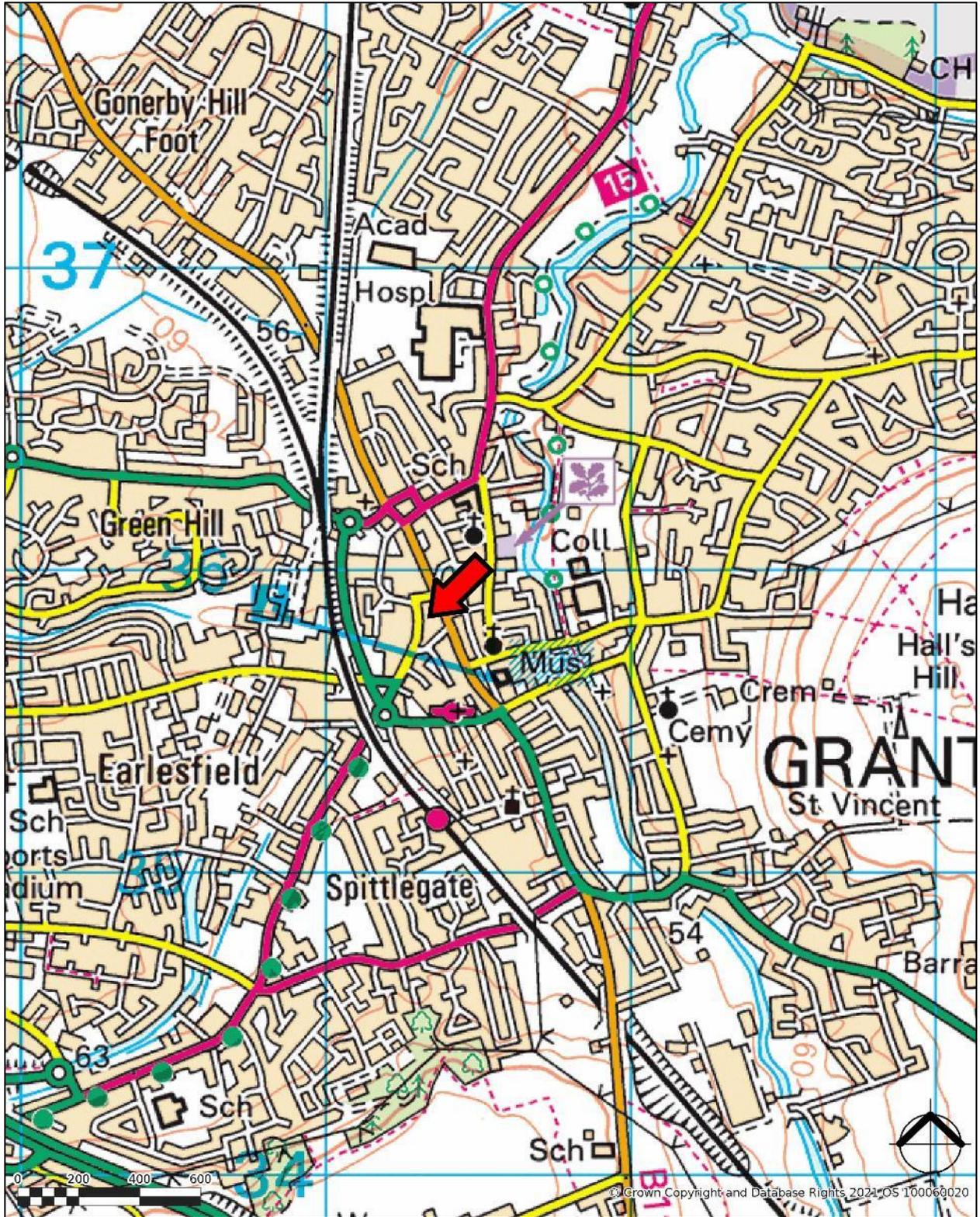
3.2 The first two documents are prepared by the client, Conception Architects; the third document has been prepared by Bhangals Construction Consultants.

4.0 LOCATION AND DESCRIPTION

4.1 Grantham is a market town located on the Nottinghamshire and Lincolnshire County boundary in the administrative district of South Kesteven. According to the 2011 Census the population was 41,998 people. There has been significant housing development and allocation of expansive residential development land around the town since then.

4.2 The town is located approximately 26 miles south of Lincoln and approximately 24 miles east of Nottingham. The A1 passes the town to the west whilst the A52 trunk road passes through the town, linking Nottingham to the west and Lincolnshire and East Coast towns to the east. The town also benefits from a main East Coast Rail service to London Kings Cross.

4.3 A Location Plan is set out below showing the position of the property within the town and also the wider extent and scale of Grantham with its main road and rail links.

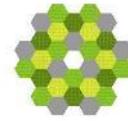


Property Address: Westgate Hall
Grantham
Lincolnshire
NG31 6LT
Date: July 2021

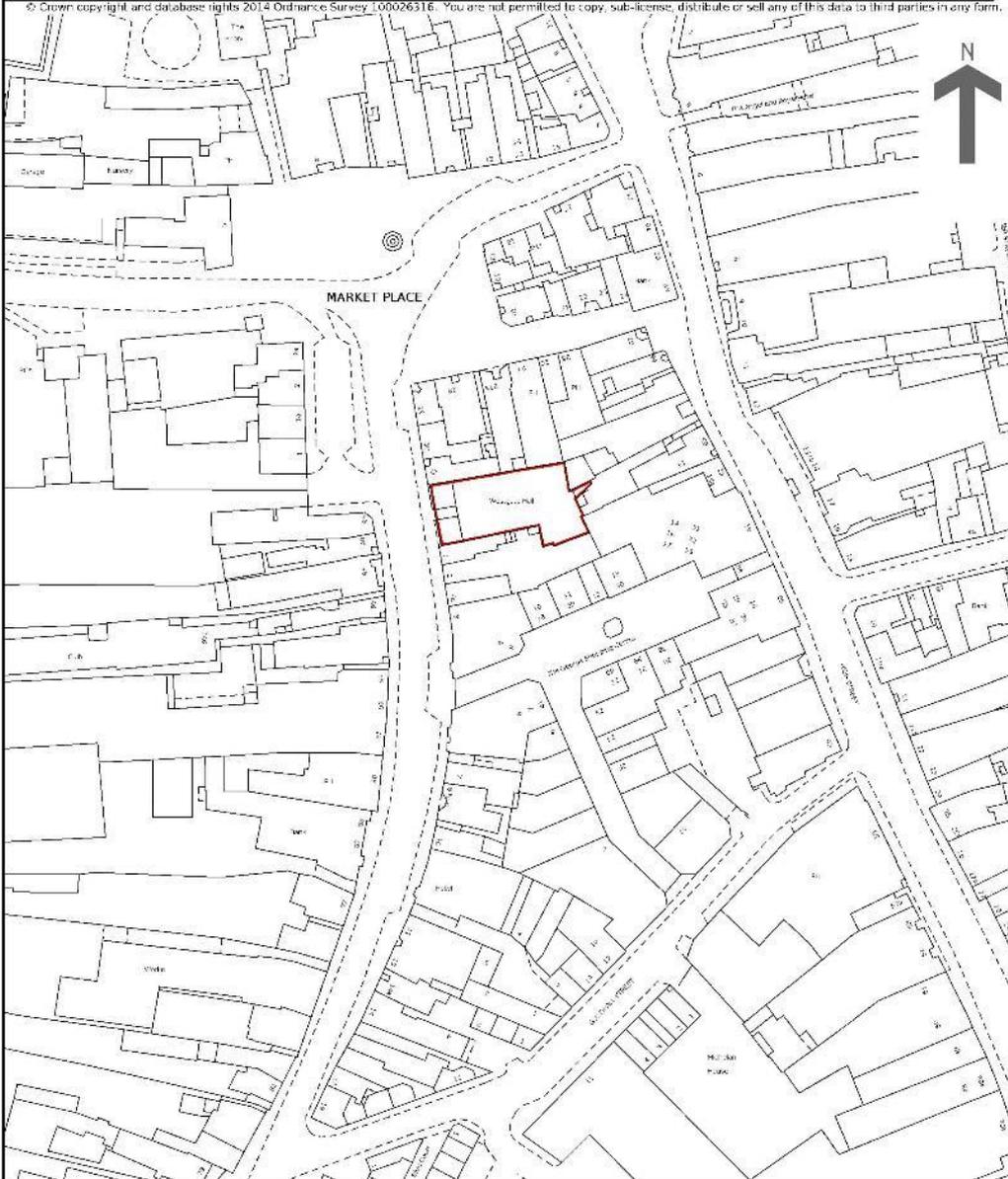
- 4.4 The property is located within the heart of the town's retailing centre, traditionally arranged along High Street, Westgate and around Market Place, approximately 50m away to the north. In retailing terms, we would consider the location secondary, characterised by a mixture of multiple and local independent businesses, with Westgate in particular known locally for a range of food and drink establishments.
- 4.5 Incorporated below is a Title Plan obtained from Land Registry, indicating our understanding of the extent of the ownership, edged in red. We have not undertaken a formal Title search.

HM Land Registry
Current title plan

Title number **LL29841**
Ordnance Survey map reference **SK9135NW**
Scale **1:1250**
Administrative area **Lincolnshire : South Kesteven**



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This is a print of the view of the title plan obtained from HM Land Registry showing the state of the title plan on 09 July 2021 at 08:12:04. This title plan shows the general position, not the exact line, of the boundaries. It may be subject to distortions in scale. Measurements scaled from this plan may not match measurements between the same points on the ground.

This title is dealt with by HM Land Registry, Kingston upon Hull Office.

Property Address: Westgate Hall
Grantham
Lincolnshire
NG31 6LT
Date: July 2021

- 4.6 The property comprises a former Corn Exchange believed to have been constructed in 1852, with an imposing, two storey, ashlar frontage. Notably, it is far taller than the adjoining two storey shop units. The frontage is arranged as three bays with extensive architectural detailing, the outside bays long since blocked off, leaving the central bay as a recessed opening, up steps off the pavement.
- 4.7 The front section of the property provides an entrance lobby flanked by ancillary space plus a substantial, multi flight staircase serving one large room across the full width of the property at first floor level with a small ancillary store and single wc off. Steps also lead down to a brick vaulted cellar split into 6 compartments with headroom limited to approximately 6ft and no natural light.
- 4.8 The main accommodation extends for the remainder of the depth of the property at ground floor level, being the former Market Hall of substantial brick elevations beneath a pitched slate covered roof with approximately 10m internally from floor to ridge. This is open plan space with further ancillary storage and toilet facilities off to the rear right hand corner. None of this space currently has any natural light although it is evident there have been in the past substantial feature windows along each of the main roof pitches.
- 4.9 No Energy Performance Certificate is currently lodged against the property's address. Under current regulations a certification of at least "E" is required for letting purposes. That bar may rise, depending on future legislation. This should be taken into account in any future specification.
- 4.10 Photographs taken during our inspection in February 2021 are set out below:



Westgate – general view facing north



Westgate Hall – front elevation



Westgate Hall – rear exit



Basement accommodation



Main staircase



Main first floor room



Main hall



Former nightclub toilets



Evidence of water ingress to octagonal blocked off windows



Evidence of water ingress

5.0 ACCOMMODATION

5.1 From measurements taken on site, we calculate the property provides the following approximate accommodation. Areas have been assessed in accordance with the RICS Professional Statement: Property Measurement 2nd Edition, January 2018 and the RICS Code of Measuring Practice (6th Edition) and:-

<u>Floor / area:</u>	<u>m²</u>	<u>ft²</u>
Basement	58.51	630
Ground Floor	394.37	4245
Mezzanine	15.53	167
First Floor	141.23	1520
Total Gross Internal Area:	609.64 m²	6,562 ft²

5.2 The RICS is keen to see standardisation of property measurement on a global basis, which may have benefits in some markets. With that aim it encourages use of International Property Measurement Standards floorspace definitions, which are different to the definitions set out in the Code of Measuring Practice employed above. It is our experience that IPMS definitions are not used in the market appropriate to the subject property. We have not, therefore, calculated or reported IPMS floor areas.

5.3 The property exhibits almost 100% site coverage, save for a small rear fire exit adjacent a public alleyway. We estimate a total site area of 0.049 hectares (0.12 acres) or thereabouts.

6.0 REPAIR AND CONDITION

- 6.1 We have not carried out a building or structural survey as this was beyond the scope of our instructions and neither have we inspected areas of the property which are covered, unexposed or inaccessible. No warranty can be given therefore, as to the structural condition of any building, neither can it be reported as being free from rot, infestation or any other defect.
- 6.2 We have not tested any of the drains or other services, and for the purpose of this valuation we have assumed that they are all operating satisfactorily and no allowances have been made for replacement or repair.
- 6.3 No tests have been carried out to establish whether high alumina cement products, calcium chloride, asbestos or wood wool slabs used or other deleterious materials have been used in the construction, modification or extension of the premises. Our valuation is on the assumption that the buildings do not incorporate these or similar products and are free from infestation.
- 6.4 The associated costs of maintaining, repairing or altering a building where there are asbestos-containing materials can be significantly higher than in the absence of those materials because of the need for specialist contractors and precautions that are necessary under the Control of Asbestos Regulations 2006 and this can impact on the value of a property. We have assumed for the purposes of this report that, unless indicated otherwise, there would not be evidence of asbestos or deleterious materials in the building in circumstances where it is likely to adversely affect health or safety. We recommend that confirmation is sought as to the existence of an asbestos survey, or in the absence thereof that one be obtained with a management plan implemented, where appropriate.
- 6.5 Due note has been made of the various forms of construction and apparent state of repair of the property and which have been reflected in our valuation figure.
- 6.6 Specifically, the client has provided a copy of a draft condition survey (and schedule of required conservation works), our copy noted "draft 03/02", undated. It discusses in some detail the state of the frontage and all internal areas. Whilst it is noted that various elements have been found in good condition, overall, the market would consider the property to be in poor condition. By way of a general summary, the property has been subject to a series of unsympathetic alterations and cosmetic treatments together with extensive intrusive installations, not least in connection with use as a nightclub. Maintenance is likely to have been neglected whilst the property was still operating but in any event has certainly been neglected for the last few years whilst standing vacant.
- 6.7 Notably, the report does not appear to fully address the roof, which is expansive and unusual. Whilst appearing generally serviceable (i.e., there are no large holes as sometimes is the case with neglected and disused Listed buildings of this nature) at the time of our inspection, there was some water ingress. There is also pigeon infestation.
- 6.8 Regardless of the type of use, any beneficial reoccupation of the property will require a major programme of stripping back, repair, refurbishment and redecoration. It will be evident to any prudent potential purchaser in the market that these works will be expensive. The building is tall, exhibiting 100% site coverage with neighbouring properties abutting, therefore making external repairs awkward and expensive. Works will also need to comply with Conservation Area and protected Listing status, often requiring specialist materials and contractors and being more expensive than with a conventional, unprotected equivalent property.

- 6.9 A cost plan for scheduled repairs prepared by Bhangals dated 11th June 2021 has been provided as detailed subsequently within section 11, below. (It is noted the date of that report is after the necessary date of valuation). For the purposes of this report it is assumed the same costs would have applied at the Valuation Date. Technically it ought to be possible to recalculate the costings based on February 2021 data although the conclusion is unlikely to impact our valuation, given its conclusion.
- 6.10 This valuation does not take into account the rights or liabilities of the occupiers under the Equality Act 2012, the Defective Premises Act, the Office Shops and Railway Premises Act or the Health and Safety at Work Act. We have assumed that the premises comply with all Statutory and Local Authority requirements. Under The Regulatory Reform (Fire Safety) Order 2005, fire certificates are no longer issued and have been superseded by 'Risk Assessments' by a 'Responsible Person' as defined in the Order. We have not seen any such 'Risk Assessment' in relation to the property and have assumed for the purposes of this report it does comply with the associated regulations.

7.0 SITE AND GROUND CONDITIONS

- 7.1 We have not carried out or commissioned a site investigation, geotechnical or geophysical survey and we can give no assurance of the ground's load bearing strength to support either existing structures or any other structure which may be erected in the future. We have assumed that any development or future extensions on the site can be carried out using conventional foundations and at no unusual or extraordinary costs.
- 7.2 Non-native invasive plant species can pose a threat to properties and one of the most damaging is Japanese Knotweed (*Fallopia Japonica*). The Environmental Protection Act 1990 classifies it, including soil containing its rhizomes as controlled waste and must be disposed of safely at a licensed landfill site, if removed from the site of origin. Landowners can be prosecuted for failing to manage and dispose of it responsibly or sued for costs and damages if they fail to prevent it from spreading to a neighbouring property. Whilst it is emphasised we are not botanical experts, from our inspection of the property, we can confirm that we did not observe the presence or see any other signs suggesting the presence of Japanese Knotweed within the accessible and visible parts of the site during the course of our inspection.

8.0 TENANCIES

- 8.1 Aside from a contractor temporarily storing tools in one corner of the hall at the time of our inspection, the property is understood to be free from any occupational arrangements and was otherwise vacant, evidently disused for some time. Our valuation relies upon the availability of full vacant possession upon completion.

9.0 PLANNING

- 9.1 A formal planning search is outside the scope of this instruction. We have, however, carried out online investigations into planning matters using the South Kesteven planning website.
- 9.2 The latest Local Development Framework appears to date from 2010. It confirms the property lies within the Grantham town centre Conservation Area along with all of the immediately surrounding area. Westgate is outside policy S3, "primary town centre shopping streets" and will therefore be free from any restrictions designed to try and protect traditional retailing positions in the town. The document also notes the whole of the town centre including the subject property to be caught by policy S1, town centre shopping areas, which includes the whole of the town centre.
- 9.3 A more detailed investigation and discussion of current general planning policies in Grantham town centre is outside the scope of this report. We are aware of no planning policies specifically affecting or targeting the subject property or its immediate neighbours.
- 9.4 A search of planning applications at the subject address appears to be available spanning back to 1994, relating to a minor illuminated signage consent next door at 1 Westgate. Subsequently only two applications are noted. In June 2019 (reference S19/0615) permission was granted for internal alterations at the subject property in connection with replacement of the timber floor to the main hall following flood damage. It was proposed for this surfacing to incorporate more sympathetic materials although the work does not appear to have proceeded.
- 9.5 In February 2020 permission was granted (reference S19/2116) supplementary to a previous consent for the erection of a blue plaque on the front elevation commemorating a meeting held in the subject property in 1912 in connection with the Suffragette Movement.
- 9.6 No other planning consents were evident either at or immediately adjacent the subject property. However, the property was evidently last used as a nightclub. In our experience online searches of this nature are not always watertight. It is anticipated there will have been planning permission for a corresponding change of use and it is assumed that remains the consented use.
- 9.7 Any future works to the property will require Conservation Area consent, Listed building consent and possibly planning permission for Change of Use.
- 9.8 It is confirmed the property is Grade II Listed and within a Conservation Area.

10.0 PROPERTY TAXATION

- 10.1 We are not aware as to the property's VAT registration status. Accordingly, we have assumed that either the Landlord has not elected to Waive Exemption status or that if he has it has no adverse effect on rental or capital value.
- 10.2 We are not aware of whether or not there are any capital allowances that might transfer with the property. Such capital allowances are dependent upon the tax position of an individual purchaser and it is not feasible to make reliable enquiries in this regard. Accordingly, we have assumed that no allowances would be available and have not adjusted our valuation. It should be noted, however, that should a purchaser be able to use significant capital allowances, this might enable him to improve his bid for the property, which could result in increasing the purchase price above our valuation.

11.0 VALUATION APPROACH AND COMMENTARY

- 11.1 Vacant commercial property is conventionally valued using what is known as the comparables method, using knowledge of similar properties recently and ideally subject to an open market transaction, analysed and adjusted using the skill and experience of the valuer for variations in size, location, specification, condition, planning consent, age, obsolescence and a range of other factors. That approach is extensively accepted and works well for conventional property types such as shops, offices and industrial units where there is a functioning market.
- 11.2 Alternative methods are sometimes employed where comparables are either unavailable or inappropriate, normally either an investment method or a residual appraisal. The investment method is used for income generating properties. There are no tenancies in place at the subject property, with that approach therefore inappropriate. Residual appraisals tend to be used for development projects. In the interests of credibility they usually require a consented scheme and identifiable costings although even then are notoriously subject to wide margins of error or at least uncertainty. Some aspects of the numerous inputs for a residual appraisal are themselves comparables-based.
- 11.3 The property was last used as a nightclub, now vacant and closed for several years. The client has put forward a scheme for bringing the premises back into use and we have been provided with a document, "Proposed Use: Microbrewery with bar, restaurant and conference centre – Options Appraisal of Westgate Hall" prepared by Conception Architects. A copy is incorporated at appendix B. There is a corresponding document from the same source reproduced at appendix C setting out the room numbers referenced in the Options Appraisal.
- 11.4 The main ground floor space is recommended for fitting out as a microbrewery with bar and restaurant. Rooms either side of the front entrance are suggested as a "beer shop" and as the kitchen serving the restaurant, with customer toilets in the rear right hand corner of the property, in the same location as the former nightclub toilets. The rear fire exit is intended to remain.

- 11.5 The basement is partly allocated as a beer cellar, kitchen store and office or staff room plus a single staff wc, with the remainder arranged as archiving, understood to be a local requirement and not connected to the bar/restaurant. The first floor is proposed as a "conference centre/meeting room" with a single wc in the position of an existing toilet off the main staircase landing, plus an ancillary meeting room or store.
- 11.6 We are not aware of any proposed operators.
- 11.7 Valuing the subject property in its current state on a comparables basis challenging. The property is architecturally and physically unusual and there are no similar buildings in the town which has been conveyed recently. It is therefore necessary to consider wider market evidence, both from physically less similar accommodation but ideally in the same town, or, as physically similar accommodation as possible but from further afield than would ideally be the case. All of this falls to be weighed in the judgment of an experienced valuer familiar with the locality. Although none of the following evidence is considered a direct comparable, it has been used to form a framework within which to place an opinion of value.
- 11.7.1 The undersigned valuer reported on the former Corn Exchange in Newark in 2016. That is a remarkably similar property, roughly half as big again as Westgate Hall but another stone fronted property behind pillars originally constructed as a Corn Exchange and comprising a main hall with various ancillary areas including a limited amount of first floor or balcony space and a basement. That property was also last used as a nightclub and has been disused for at least 5 years. Most recently there have been licensing arguments with the local authority publicised and it remains closed. It is offered on the market to let with an asking rent of £50,000 pa, but has been available for a long time. Attempts to contact the agent were unsuccessful but the property is not shown as "under offer" and is anticipated to remain unlet and available. Newark on Trent is similar to Grantham in many ways, being a large market town on the Nottinghamshire/Lincolnshire border and on the East Coast Main Railway line as well as on the A1 trunk road. Apart from being larger, the Newark property also benefits, however, from external space to the rear, with a potential garden area overlooking the River Trent whereas the subject property has virtually no external space and no riverside view. The continuing availability of this very similar property underlines the limited demand for this type of accommodation in local market towns in recent market conditions.
- 11.7.2 The former Blue Bell public house at 57-58 Westgate in Grantham was sold, closed, in May 2019, having formerly been an Admiral operated property. The asking price was £250,000. The building extended to a stated 1,668 ft², being significantly smaller than the subject property, but also benefitted from a car park off Dysart Road and comprised a reasonable town centre site as a whole. Marketing material indicated potential for the creation of 2,874 ft² of accommodation. Although within the Conservation Area that building was not Listed, albeit built approximately 120 years ago. The price achieved was £236,000, which is not atypical for slightly run down, recently closed public houses in the East Midlands area.
- 11.7.3 Stone fronted and of similar size in Grantham town centre, Granta Hall on Finkin Street is available for sale, extending to 5,800 ft² with an asking price of £495,000. This Georgian property used for many years as professional offices is in far superior condition to the subject property and includes a 7 space car park, the current tenant understood to be vacating imminently. The asking price equates to £85.34 psf. The subject property is likely to command significantly less per square foot.

- 11.7.4 The substantial George Shopping Centre located behind the subject property with its main, Listed frontage onto High Street, has always struggled to maintain occupancy and has a chequered ownership history. It was sold for the second time in three years in December 2020 for only £1,010,000 at auction. The indicated yield was very high at 14% but common wisdom would suggest the property requires some form or repurposing or partial redevelopment.
- 11.7.5 The Angel and Royal, a Grade I Listed, 31 bedroom hotel at 4-5 High Street in Grantham was sold in July 2020 for £1,800,000, operational save for forced closures during the pandemic, and purchased by another hotelier. That price is likely to have been based upon capitalised adjusted profits appropriate to a trading entity, of no use for comparison with the subject premises but along with The George Shopping Centre, above, is the only reported sale of a substantial property in Grantham town centre within the last three years.
- 11.8 Other local Listed but either obsolete or badly neglected properties which the undersigned valuer has appraised in recent years have included the Robin Hood Inn in Newark, eventually incorporated into a new budget hotel adjacent after standing vacant for approximately twenty years and the Corn Market in Lincoln, incorporated into an adjoining new retail scheme within the same ownership, in a central city location with far larger catchment than available in Grantham. Neither of those properties had particular commercial value or an obvious viable use separately from the wider, adjoining, modern ownerships. We are not aware of any potential to incorporate Westgate Hall into modern redevelopment adjoining the subject ownership.
- 11.9 Often not Listed, broadly similar style accommodation to that provided by Westgate Hall can be found in former chapels and local churches. Innes England have dealt with a number of sales in recent years, typically exhibiting capital values between £75 and £100 psf, excluding those suitable for demolition and the creation of new development land. East Midlands examples include the former Methodist Church in Newthorpe sold in January 2020 and achieving £89.57 psf, the former Baptist Church in Bottesford sold in December 2018 off £95.05 psf, Aspley Methodist Church in Nottingham in December 2018 at £91.02 psf and Ilkeston Methodist Church in Derbyshire recently under offer at £82.08 psf. These buildings often exhibit high site coverage, are maintenance intensive and physically difficult to put to modern uses - therefore similar in many ways to the subject property. The size of those properties ranged from 1,578 ft² up to 7,547 ft², not always with 100% site coverage and in general were of wider likely market appeal than Westgate Hall due to versatility and freedom from protected status.
- 11.10 At the time of preparing this report the former Baptist Church in Newark on Trent extending to 4,528 ft² is being offered for sale. The building is not Listed but is in a similar secondary position in that market town centre with 100% site coverage. The asking price equates to £55.21 psf.
- 11.11 There are no properties remotely similar to the subject property currently offered for sale or to let in Grantham or its catchment on any of the leading commercial property listing websites.
- 11.12 Approximately five doors away in Grantham, on the opposite side of the road, Anytime Fitness at 91-91 Westgate are understood to pay £6.50 psf for approximately 6,500 ft² accommodation, providing an example of the rent achieved from a quasi-retail operator in the immediate proximity, albeit that accommodation – although of far less character or interest - is much more conventional, flexible and accessible.
- 11.13 To varying degrees, all of the above background market information has been taken into consideration alongside a significant reliance on wider market experience before arriving at the opinions of Market Value as at the Date of Valuation (i.e., unrepaired and unimproved) reported within section 12, below.

Proposed Use

- 11.14 A mixture of proposed uses is set out. The archiving in part of the basement appears a specific local requirement. The basement accommodation is of limited value and we have disregarded the archive use from our calculations. Although a small fee or rent may be chargeable for the use of that space, there will be administration and management costs connected to the shared use including security, insurance, access and shared utilities, with the net monetary contribution likely to be negligible.
- 11.15 The proposed “conference centre/meeting room” on the first floor is likely to be uneconomic to operate independently. We would anticipate modest local conference demand but the need for management, with limited ancillary space. The space would, however, make an impressive meeting room due to the very generous ceiling height. Although the uses envisaged in the proposal may well be appropriate and achievable, commercially it is anticipated it would be better offered as a function room by the ground floor operator, available for hire for private functions such as training events, private celebrations, local meetings, etc.
- 11.16 If natural light could be brought into the main hall through the octagonal windows then an impressive ground floor trading space could be created, behind an imposing and prominent façade in the town. In our opinion it would be well suited to a bar/restaurant, with the microbrewery theme having risen dramatically in popularity in recent years. A comparison regionally might be the Malt Cross on St James’s Street in Nottingham, a former Victorian music hall which no doubt attracts much of its trade due to its impressive internal architectural appearance and detailing.
- 11.17 However, two factors will limit value, specifically:
- i. The licensed sector has been hit badly by the Covid pandemic and the restrictions and closures resulting. Many venues have been closed for 15 months, since March 2020. The sector is starting to reopen sporadically but it is far from clear how and how many operators will recover. Where new levels of demand will settle also remains to be seen. This sector is also beginning to suffer from staff shortages in the wake of Brexit, albeit that was not evident at the Date of Valuation. The market is currently extremely challenging for operators in that sector. Capital or rental bids are therefore likely to be cautious.
 - ii. There is a limited catchment in Grantham in comparison to larger nearby centres such as Nottingham, Lincoln or Leicester, where there is no shortage of alternative licensed property available. Of those, seemingly in highest demand currently are those with external space whilst unfortunately the subject property has no external offering.
 - iii. In an East Midlands city centre, bar/restaurant accommodation might currently be able to attract a rent in the region of £15 psf before incentives. In a market town such as Grantham we would expect that might fall to around £8-£10 psf for the main space with lower relativities for the basement and first floor. That would be for accommodation in full repair, ready to receive the specialist fitting out of the operator. Significant rent free periods are, however, commonly granted where a new bar restaurant is to be the tenant, in recognition of the considerable capital costs of fitting out such establishments. In our opinion a rent for the repaired and renovated, but not fitted out, property might be achievable in the region of £42,500 pa although at least 12 months rent free is likely to be required in an agreement with a 5 yearly review pattern and possibly tenant breaks. The average net rental income is therefore likely to be in the region of £33,875 pa.

- iv. The licensed retail sector is not currently a favourable asset class. The traditional high street was struggling due to structural changes before the pandemic and it has only suffered more since. The leisure sector has been particularly badly affected. Investment yields are therefore currently high.

12.0 VALUATION

- 12.1 The outbreak of the Novel Coronavirus (COVID-19), declared by the World Health Organisation as a “Global Pandemic” on 11 March 2020, has impacted global financial markets significantly. Market activity is being adversely impacted in many sectors. As at the valuation date, not only is there very limited relevant market evidence available but we consider that we can attach less weight to previous market evidence for comparison purposes, to inform opinions of value. Indeed, the current response to COVID-19 means that we are faced with an unprecedented set of circumstances on which to base a judgement. Our valuation is therefore reported on the basis of ‘material valuation uncertainty’ as per VPS 3 and VPGA 10 of the RICS Red Book Global. Consequently, less certainty – and a higher degree of caution – should be attached to our valuation than would normally be the case. Given the unknown future impact that COVID-19 might have on the real estate market, we recommend that you keep the valuation under frequent review.

Market Value – As Is

- 12.2 Having regard to the comments and assumptions we have made in this report we are of the opinion that the freehold interest has a Market Value as defined below, assuming vacant possession for viability appraisal purposes, as at the Valuation Date, exclusive of VAT, of: -

£185,000
(One Hundred and Eighty Five Thousand Pounds)

Repair / Refurbishment Costs

- 12.3 The Cost Schedule provided by the Quantity Surveyor (see 3.1, above) appears to cover principally a programme of stripping out insensitive, inappropriate and redundant installations, extensive repair, redecoration, and a basic level of re-fitting plus the installation of a small lift. It totals **£468,729** excluding VAT. It is heavily caveated, makes clear various exclusions and is stated to be provided on a preliminary and indicative basis. In our experience the costs of renovating properties of this nature tend to exceed initial budgets and we would be inclined to view the figure as a minimum estimate.

Market Value – In Repair

- 12.4 Having regard to the comments and assumptions we have made in this report we are of the opinion that the freehold interest has a Market Value as defined below, assuming vacant possession for viability appraisal purposes, as at the Valuation Date, but assuming all works set out in the Costs Schedule have been completed along with all newly discovered wants of repair or replacement during the project, exclusive of VAT, of: -

£325,000

(Three Hundred and Twenty Five Thousand Pounds)

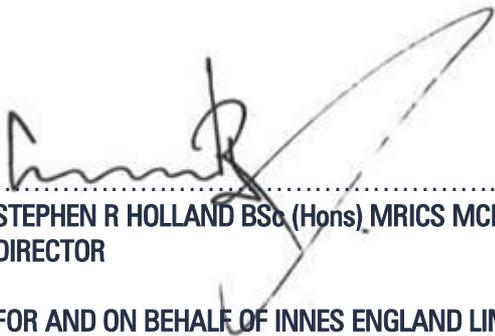
- 12.5 In our opinion, under market conditions prevailing at the Valuation Date, a marketing period for the unimproved property (measured from receipt of instructions to exchange of contracts) of 24 months would be necessary. This can only be an estimate, depending on participants in the market at a given time and assuming no significant changes in market conditions during that period.
- 12.6 Market Value is defined in the RICS Valuation UK National Supplement effective from January 2019 (“the RICS Valuation Standards”) as follows: -

‘The estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arms-length transaction, after proper marketing and where the parties had each acted knowledgeably, prudently and without compulsion’.

- 12.7 In arriving at our figure no allowance has been made for any liability which may arise on the disposal for payment of Corporation or Capital Gains Tax and the figure stated is exclusive of any VAT which may apply. Furthermore, no allowance has been made for any expenses of sale which might arise in the event of a disposal.

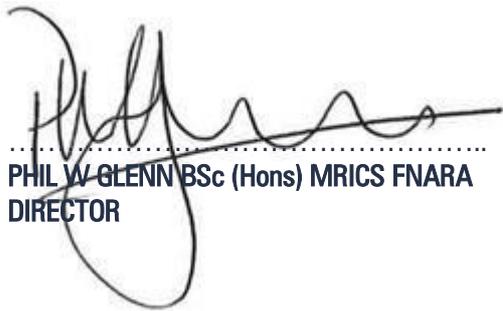
13.0 LIMITATIONS ON LIABILITY AND PUBLICATION

- 13.1 This report, including assumptions, caveats and all Appendices, should be read as a whole so that no part may be taken out of context.
- 13.2 Neither the whole nor any part of this report or any reference thereto may be included in any published document, circular or statement nor published in any way without our written approval of the form or context in which it may appear.
- 13.3 Our liability is limited as per the Terms of Engagement attached.
- 13.4 This valuation is for the stated purpose and for the sole use of the client, Conception Architects, and is confidential to them and their professional advisors. We accept no responsibility whatsoever to any other party.



.....
STEPHEN R HOLLAND BSc (Hons) MRICS MCI Arb
DIRECTOR

FOR AND ON BEHALF OF INNES ENGLAND LIMITED



.....
PHIL W GLENN BSc (Hons) MRICS FNARA
DIRECTOR

Tel: 0115 924 3243
Email: sholland@innes-england.com / pglenn@innes-england.com
Issued: 26th July 2021

APPENDIX A

TERMS OF ENGAGEMENT

Terms of Engagement: Valuation

Client Details

Name of Client: Conception Architects
Contact name and address: Dave Innes, Gothic House, Barker Gate, Lace Market, Nottingham, NG1 1JU
Telephone: 0115 950 5150 **Email:** dave@conceptionarchitects.com

Property Details

Property Address: Westgate Hall,
Grantham, Lincolnshire,
NG31 6LT **Type of Property:** Heritage (former
nightclub)
Tenure: Freehold **Special Assumptions:** As is plus 4 development
scenarios
Interest to be Valued: Freehold with vacant possession

Job Details

Purpose of Valuation: Supporting repair and reinstatement appraisals by others. **Term of Loan:** Not Applicable
Basis of Value: Market Value **Report Format:** Written report - minimum content.
Name of Valuer: Steve Holland MRICS **Status of Valuer:** External & Independent
Email address: sholland@innes-england.com **Telephone Number:** 0115 924 3243
Knowledge and Skills: We confirm that the Valuer responsible is an RICS Registered Valuer, with sufficient current local or national (as appropriate) knowledge of the particular market, and the skills and understanding necessary to undertake the valuation competently, objectively and without bias.
Report Timescale: ASAP **Instruction Date:** 16th December 2020
Valuation Date: Date of Report **Currency:** GBP
Fee Basis: Valuation: £3,250 plus VAT
Hourly Work: £225 per hour plus VAT
Day Rate: £850 per day plus VAT **Disbursements Included:** Yes
Payment Terms: 21 days. **Point of Invoice:** With report
Previous Involvement: None.
Conflicts of Interest: None known.
RICS Valuation Standards: We confirm that the valuation will be prepared in accordance with the RICS Valuation – Global Standards January 2020 in particular the requirements of VPS3 (Valuation Reports) which incorporate the International Valuation Standards, and the RICS

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Valuation UK National Supplement effective from January 2019 ("the RICS Valuation Standards").

- RICS Regulation:** (i) Compliance with these Standards may be subject to monitoring under the RICS conduct and disciplinary regulations.
(ii) Where payment of our fee is made in advance those funds will not be treated as "client money" and will not, therefore, be subject to the protection of the RICS Client Money Protection Scheme.
- Complaints:** A copy of our Complaints Handling Procedure is available on request.
- Information:** It is anticipated the client will provide the valuer with summary proposals including drawings in respect of each of the four alternative proposals to be considered alongside the valuation of the property in its current state. That information will be relied upon in good faith.
- Disclosure:** If you are aware of a recent sale or purchase of the property then details should be provided to us before completion of our report please.

Basis of Value

Our valuation will be on the basis stated below:

- Market Value:** The estimated amount for which an asset or liability should exchange on the valuation date, between a willing buyer and a willing seller in an arm's-length transaction after proper marketing wherein the parties had each acted knowledgeably, prudently and without compulsion.

Important Note

These Terms of Engagement relate to the provision of a bespoke valuation report. Whilst it is intended the report will satisfy the minimum reporting requirements of the current RICS Valuation – Global Standards 2020, the extent of assumptions and the limitations on investigations are more extensive than with, for example, a typical report prepared for secured lending purposes. If you require a more detailed report or for wider or deeper investigations to be made then you should consult with the valuer before signing these Terms of Engagement and establish whether or not a different service would be more suitable. You should only sign these Terms of Engagement if you are happy to accept the restricted nature of our investigations, the corresponding assumptions made and the limitations on reporting.

Verification of Information

It is an essential part of most valuation instructions that we seek and obtain information from a wide variety of third party sources. It is often not possible to fully verify all information provided to us within the budgetary and timescale constraints agreed. We will seek to use the most reliable information sources available and use our professional judgement in considering and applying information obtained and the level of due diligence required. It is sometimes unavoidable that we rely on third party information at face value. If that information proves inaccurate there may be an impact on our conclusions.

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Assumptions

In providing our valuation advice, we shall make the following assumptions unless agreed with you in advance. If, after inspection or investigation, we consider an assumption to be inappropriate, or should be a special assumption, we shall discuss and agree these with you prior to the conclusion of the valuation and the delivery of the report.

Unless it is made apparent by our express statement to the contrary in the report, we will be under no duty to verify our assumptions. If any of them are subsequently found to not be valid, we may wish to review our valuation as there may be an impact on it.

We will assume that normal periodic maintenance will be carried out to maintain the property in a state of repair fit for its present use.

The valuation will assume that any specialist reports, tests and calculations would not reveal any materially adverse conditions.

In respect of newly built property we will assume that a full package of guarantees and collateral warranties are available from the design, professional and build team responsible for the erection of the subject property. We will recommend that your solicitors are instructed to confirm that the warranties etc. are acceptable.

Town and Country Planning

We will make online investigations into planning matters. We will not undertake a formal planning search.

Our valuation will assume that all buildings, structures and operations currently existing within the boundaries of the property or properties valued have the benefit of formal planning permission, building regulations and other required approvals without the burden of any unusually onerous restrictions or conditions and being immune from any form of enforcement or action for termination by the relevant authorities. We will assume that planning permissions are of a perpetual nature for the benefit of the property.

Unless stated otherwise in our report, we will assume no major planning applications are either pending or recently granted in close proximity to the property of a nature likely to impact upon value or marketability.

Title and other Statutory Investigations

We will make no title or other statutory investigations and shall assume:

- a) That there is good and unencumbered title to the property, free from onerous covenants, easements, restrictions or other encumbrances or outgoings. Should there be any mortgages or charges, we have assumed that the property would be sold free of them. Unless stated we shall not inspect the title deeds or Land Registry certificate. Any legal assumptions made must be checked by your legal advisors and no responsibility or liability will be accepted for the true interpretation of your legal title in the property.
- b) That we have been supplied with all information likely to have an effect on the value of the property, and that the information supplied to us and summarised in our report is complete and correct.
- c) That the information provided by the local and statutory authorities is correct and complete and that a local search would not reveal any matter that would have an adverse effect upon the value of the property, nor liability to the Client, or Client Lender (for a secured lending valuation);

13 January 2021

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Doc ID: e1abdd2f9588a6519def89b43e934bf83fcb650

- d) That the property and any alterations or extensions thereto complies in all respects with current legislation affecting the property and its use, or its intended use.
- e) That the principal roads serving the property are adopted and maintainable at public expense and that there is unrestricted access to and from the subject property from the adopted highway.
- f) No investigations as to the rights of public utilities over any parts of the property will be carried out and we will assume that any such right would not impose any undue restrictions and therefore materially affect value.
- g) We will not investigate the Rateable Value. Our valuation will assume a reasonable assessment.

Services

Unless informed otherwise we shall assume that the property has the benefit of mains water, electricity, drainage and gas. However, no tests or checks will be carried out with regard to these services and we will assume that they are free from defect and would satisfy the requirements of any appropriate statutory bodies.

We will assume that the capacity of the services is adequate for the future use of the property but may be unable to verify that this is the case.

In respect of development sites, we will assume that all relevant services are available at the site and that water, electricity, drainage, gas and telecommunications can be connected at normal cost and that there are no on or off site, abnormal infrastructure or service provision costs which are required.

Contamination and Environmental Issues

We will assume that no contaminative or potentially contaminative uses have ever been carried out in the property. We will not carry out any investigation into past or present uses, either of the property or on any neighbouring land, to establish whether there is any contamination or potential for contamination to the subject property from these uses or sites and will assume that none exist.

We will not obtain an environmental report. We will assume no significant radon risk.

However, should it be established subsequently that contamination, seepage or pollution exist at the property or on any neighbouring land, or that the property has been or is being put to a contaminative use, we reserve the right to amend the values reported and confirm that this situation would probably result in the values reported being reduced.

We will not investigate flood risk. We will assume that the property is capable of obtaining full insurance without significant additional premium to cover flood risks and we will not make any adjustment to our valuation in respect of flood risk issues.

We will not carry out or commission a site investigation, geotechnical or geophysical survey and will give no assurance of the ground's load bearing strength to support either existing structures or any other structure which may be erected in the future. We will assume that any development or future extensions on the site can be carried out using conventional foundations and at no unusual or extraordinary costs.

An estimation of the build cost associated with development proposals is outside the scope of this report although we would be happy to incorporate comment upon and potentially the impact thereof using costing estimates provided by the client if available.

13 January 2021

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Doc ID: e1abdd2f9588a6519def89b43e934bf83fcb650

Extent of Inspection and Reporting

We will undertake a visual inspection of so much of the exterior and interior of the property as is accessible with safety and without undue difficulty, as can be seen whilst standing at ground level within the boundaries of the site and adjacent public/communal areas and whilst standing at the various floor levels, which we consider reasonably necessary to provide the service, having regard to its purpose.

Unless specifically requested otherwise by the Client or stated otherwise by us, where our instructions relate to residential or office property, any measurement will be carried out in accordance with the latest edition of the RICS Code of Measuring Practice, not with the International Property Measurement Standards ("IPMS"). This is because it is not relevant market practice to use IPMS measurements and therefore we do not consider IPMS measurements will have any impact on the substance or purpose of these instructions. Please contact us before confirming the terms set out herein if that is not understood and accepted.

We will not carry out a building or structural survey and will not inspect areas of the property which are covered, unexposed or inaccessible. No warranty can be given therefore, as to the structural condition of any building, neither can it be reported as being free from rot, infestation or any other defect.

No measurement or calculation will be made of the load bearing capacity of foundation, floors or other elements of the structure which will be assumed are suitable for the present or proposed uses.

Although regard will be had to the apparent state of the property, defects may exist that are latent or would be revealed in a more detailed survey.

Due note will be made of the various forms of construction and apparent state of repair of the property which will, as far as possible and if specifically stated, be reflected in our valuation figure.

We will not test any of the drains or other services, and for the purpose of our valuation we will assume that they are all operating satisfactorily and no allowances will be made for replacement or repair.

No tests will be carried out to establish whether high alumina cement products, calcium chloride, asbestos, dangerous cladding or wood wool slabs used in structural formwork or other hazardous or deleterious materials have been used in the construction, modification or extension of the property. Our valuation will assume that the property does not incorporate these or similar products and is free from infestation.

Our valuation will not take into account the rights or liabilities of the occupiers under the Defective Premises Act, the Office Shops and Railway Premises Act, the Health and Safety at Work Act, the Control of Asbestos at Work Regulations, or the Disability Discrimination Act 1995. We will assume that the property complies with all Statutory, Local Authority requirements and the Regulatory Reform (Fire Safety) Order 2005.

Limits on Liability and Publication

Our valuation report, including assumptions, caveats and the Appendices, should be read as a whole so that no part may be taken out of context.

Neither the whole nor any part of our valuation report or any reference thereto may be included in any published document, circular or statement nor published in any way without our written approval of the form or context in which it may appear.

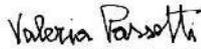
13 January 2021

Page 5 of 6

Doc ID: e1abdd2f9588a6519def89b43e934bf83fcb650

Our maximum aggregate liability to you (whether in contract, tort, negligence or otherwise) in relation to the Services to which these Terms of Engagement apply shall not in any circumstances exceed the lower of 25% of the Market Value or £500,000. Nothing in these Terms of Engagement shall exclude or limit our liability to you for death or personal injury caused by our negligence or for fraudulent misrepresentation.

Our valuation report will be for no purpose other than the stated purpose and is for the sole use of the named Client and will be confidential to them and their professional advisors. We accept no responsibility whatsoever to any other party.

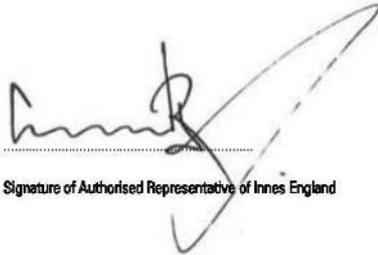


20 / 01 / 2021

Signature of Client or Authorised Representative

Date:

(If signing on behalf of Company or Partnership, state capacity)



13th January 2021

Signature of Authorised Representative of Innes England

Date:

13 January 2021

Page 6 of 6

Doc ID: e1abdd2f9588a6519def89b43e934bf83fcb650

APPENDIX B

OPTIONS APPRAISAL

**Proposed Use:
Microbrewery with Bar,
Restaurant and
Conference Centre**
**Options Appraisal of
Westgate Hall**



Conception Architects

Proposed Uses

Ground Floor

RG07: Microbrewery, Bar & Restaurant

Following the removal of all modern and inappropriate decoration and the repair of the roof windows, RG07 would provide an amazing space for a bar & restaurant with an attached microbrewery.

The microbrewery could be housed either to the rear of the room (Option 1) or in a space ranged along the centre of the room (Option 2), acting as a soft separation for the bar and restaurant. We would envisage approximately 25m² being allotted to house the brewery, a space large enough to allow for all the equipment required for a 300L system (300L per batch, one batch taking 6-8 hours), and a small can/bottle filling system.



Cheeky Monkey Brewery, Boston



Archdaily - Dongli Brewery, Beijing



MKCitizen - Brewhouse & Kitchen, Milton Keynes



Three Dagers Brewery, Edington, Wiltshire

RG04: Beer Shop

RF04 is the ideal size for a beer shop that could be operated by the owners of the microbrewery and could be used to sell the products of said brewery, along with a range of different products that are bought in from other breweries and small-scale franchises.



Stourbridge News - The Hop Vault, Stourbridge



Surrey Live - Growlers & Cans, Guildford



Leeds List - The Hoptimist, Guiseley



The Curious Hop, Otley

RG01: Commercial Kitchen

Following the removal of the mezzanine floor and any necessary repairs, RF01 is to be retrofitted as a commercial kitchen to service the proposed restaurant in RG07 and to provide any refreshments for the occupants of the conference centre on the 1st floor.

RG01 benefits from its own external access to Westgate for any deliveries, it has direct access through to the proposed restaurant, and even has a separate door to RG02/03 that gives it easier access to the 1st floor without having to pass through the main restaurant/bar. Pending confirmation of its location it is believed that there is direct access to the basement (RB07/08) from RG01 that has been boarded over and is currently beneath the stairs for the mezzanine floor. If reinstated, this would provide additional storage space for the kitchen that could be accessed without having to cross through any public spaces.

First Floor

RF01: Conference Centre

Due to its commanding size and height, RF01 would provide the ideal space for a conference centre/meeting room to be rented out daily. The first floor also benefits from its own access from RF02/03 that means that the occupants do not have to walk through the bar/restaurant to access the conference centre. The size of RF01 means that if required, it can be divided down into smaller meeting rooms, separated by folding walls that are demonstrated in the Option 2 proposals.

RF02: Meeting Room or Storage

With access from both RF01 and RF03, RF02 can be used as either another office space to be rented out, as storage space for the tables/chairs etc. that would be required for RF01, or it can be kept as an office space to be used by the owners/tenants of Westgate Hall.

RF03: WC

Following the removal of the existing WC fittings and furnishings and the repair of any water and damp ingress that has been identified surrounding the existing downpipe, RF03 is to be reinstated as a WC to service the conference room proposed for RF01.

Basement

RB01 & RB02: Archive

As originally proposed, RB01 and RB02 are to be used to house the local archives. With their own entrance from RB10 (the main communal area from which most of the basement rooms branch off), these rooms could be secured against entry from the tenants of the rest of the Hall.

RB04: Bar/Restaurant Office & Staff Room

This room is disused at the moment, but once it has been cleared of all debris and unused equipment, it would provide the perfect size space for either an office or staff room for the microbrewery, bar and restaurant above.

RB05 & RB06: Beer Cellar & Storage

RB06 is currently still furnished with the equipment of a beer cellar, a call back to the days when Westgate Hall was a nightclub. Although the current equipment is most likely outdated and damaged, it does mean that this unit is suitable for fitting out as a beer cellar again.

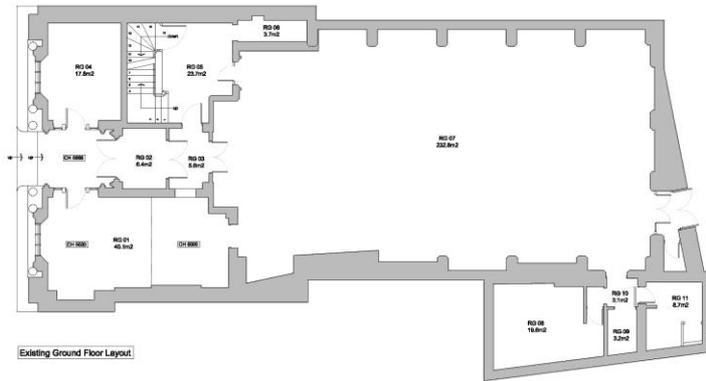
RB05 is currently empty except for the large electrical/mechanical units related to the beer cellar furnishings in RB06. This would provide a versatile space to be used as a storage cellar for the bar/restaurant.

RB07: Kitchen Storage

As previously mentioned, we believe that the stairs from RB08 terminate in RG01. Once uncovered and if proven correct, RB07 could be retrofitted as kitchen storage, meaning that when supplies are brought directly in to RG01 from Westgate, there would be no need to carry them through any public spaces of the Hall as they could be brought directly down into the basement from the kitchen.

APPENDIX C

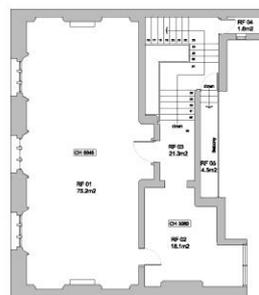
EXISTING & PROPOSED LAYOUTS



Existing Ground Floor Layout



Existing Basement Layout



Existing First Floor Layout

All dimensions are in millimeters unless otherwise stated. This drawing to be checked against all other relevant drawings and any dimensions are to be checked on site. Do not scale from drawing.

DRAWING TITLE
EXISTING LAYOUTS

SCALE DATE
NTS 13/04/2021

PROJECT TITLE
OPTIONS APPRAISAL FOR WESTGATE HALL

PROJECT ADDRESS
Westgate
Grantham
NG31 6LT

DRAWING NO.
CA/1239/20/XX

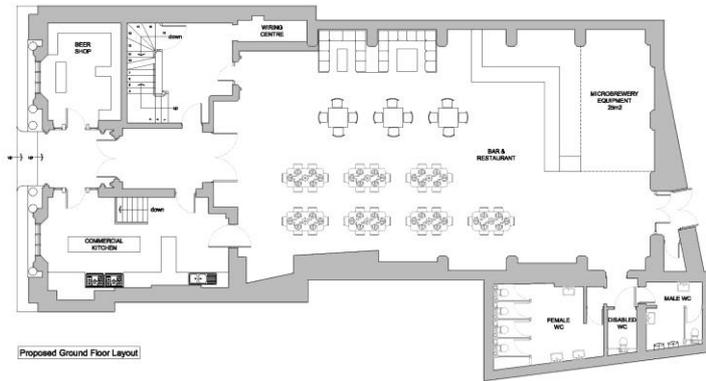
REVISION

SCHEDULE NOTES

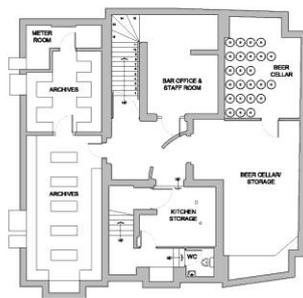
CLIENT
South Kesteven District Council
Council Offices
St Peters Hill
Grantham
NG31 6PZ

Conception Architects
Gothic House
Barker Gate
Nottingham
NG1 1JU

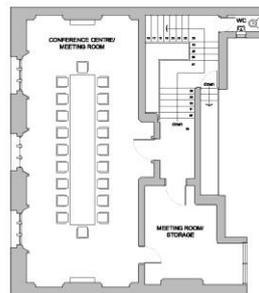
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Proposed Ground Floor Layout



Proposed Basement Layout



Proposed First Floor Layout

All dimensions are in millimeters unless otherwise stated. This drawing to be checked against all other relevant drawings and any dimensions are to be checked on site. Do not scale from drawing.

DRAWING TITLE
PROPOSED LAYOUTS - OPTION 1

SCALE DATE
NTS 13/04/2021

PROJECT TITLE
OPTIONS APPRAISAL FOR WESTGATE HALL

PROJECT ADDRESS
Westgate
Grantham
NG31 6LT

DRAWING NO.
CA/1239/20/XX

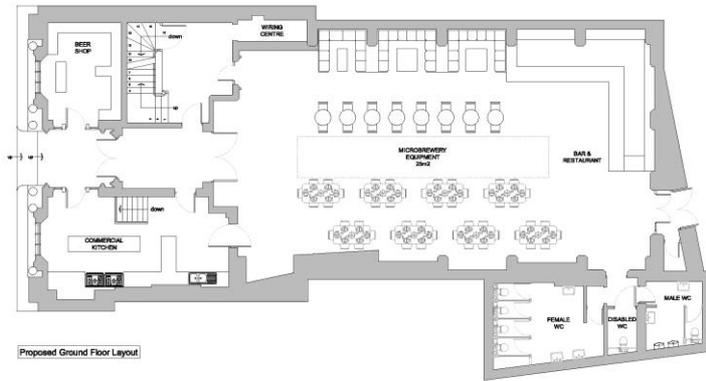
REVISION

SCHEDULE NOTES

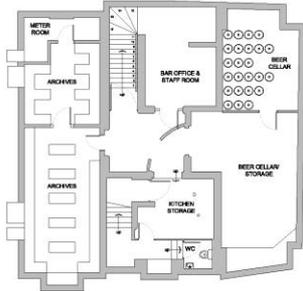
CLIENT
South Kesteven District Council
Council Offices
St Peters Hill
Grantham
NG31 6PZ

Conception Architects
Gothic House
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NG1 1JU

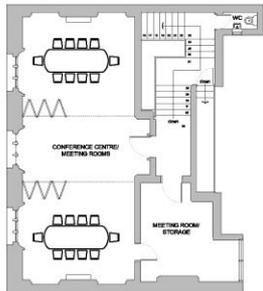
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Proposed Ground Floor Layout



Proposed Basement Layout



Proposed First Floor Layout

All dimensions are in millimeters unless otherwise stated. This drawing to be checked against all other relevant drawings and any dimensions are to be checked on site. Do not scale from drawing.

DRAWING TITLE
PROPOSED LAYOUTS - OPTION 2

SCALE DATE
NTS 13/04/2021

PROJECT TITLE
OPTIONS APPRAISAL FOR WESTGATE HALL

PROJECT ADDRESS
Westgate
Grantham
NG31 6LT

DRAWING NO.
CA/1238/20/XX

REVISION

SCHEDULE/NOTES

CLIENT
South Kesteven District Council
Council Offices
St Peters Hill
Grantham
NG31 6PZ

Conception Architects
Gable House
Barker Gate
Nottingham
NG1 1JU

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Appendix I

Community Consultation Westgate Hall



Conception Architects

INTRODUCTION

Through our community consultation activities, we have been further educated on the previous uses of Westgate Hall and its role in the history of Grantham in general and the Market Place specifically. Various members of the community have contributed their personal memories and images of this historic property and how it connects their families and themselves to the area.

Described below are the various uses that the Hall has previously been through, with contributions from stakeholders and the community. For the sake of privacy, no names of contributors are used at any juncture. For the sake of clarity, when describing the use of each room the naming format assigned by the previous surveyors and the use for each unit designated in the final proposal are used.

WESTGATE MEMORIES



Figure 1. Mary Ann Rowle c.1900

Mary Ann Rowle

A significant period of history for Westgate Hall is memorialized on a blue plaque that commemorates the life of Mary Ann Rawle (Figure 1), who lived in Grantham from 1910 until her death in 1964, becoming a prominent figure and organizer locally for the National Union of Women's Suffrage Societies. She campaigned tirelessly for women's right to vote, even spending two weeks in Holloway Woman's Prison after being arrested in London during a protest march in 1907.

When presented with this information, the community at large expressed their pride in having a person of this stature call Grantham their home and have stated their intention on visiting the Hall to see the plaque.

A Family Reunion

An amazing result in posting a painted image of Westgate with the Hall shown in the distance (Figure 2, Left), is that a member of the community responded with an image of a newspaper clipping (Figure 2, Right). After the original photo that the painting was drawn from was used in the newspaper, a member of the public contacted them to tell them that the little boy in the image was now her husband. Her husband then confirmed that it was his grandfathers' hand he was holding and that it is his mother and aunty and uncle from America looking in the shop window behind them.



Figure 2. Left - Painting of Westgate with Westgate Hall seen in the distance. Right – Newspaper clipping relating the identity of the people in the image.

RG07 – MICROBREWERY, BAR & RESTAURANT

1870's-1880's

Although the property was initially constructed as a Corn Exchange in 1852, a stakeholder uncovered that Westgate Hall was the venue for the annual Grantham Honey Fair, and throughout the 1870's and 1880's a yearly honey fair was held in Westgate Hall where local beekeepers could gather to sell their harvests of honey and beeswax, as well as display and demonstrate new techniques and equipment for bee keeping and honey extraction. Several tonnes of honey and honeycomb could be sold in a single day.

A contribution from a member of the community states that the first ever honey fair held in this country was at Westgate Hall and was started in September of 1878.

1885

In 1885 Kelly's Directory listed Westgate Hall as the 'Westgate Rooms' and explains that the building cost £6000 (in modern day this equates to £850,000) to build. The main hall was used for music, dances and entertainment.

1905

A contribution from a community member goes on to detail that in 1905, Kelly's William Cousins was Keeper and toll collector for Grantham Market and was based in Westgate Rooms.

1917

A fantastic contribution from a member of the public, the image (Figure 3) shows the main hall being used as a meeting place for the men of the Machine Gun Corps in 1917. Although over 100 years has passed since this image was taken, so much of the original/historic architectural detailing remains.



Figure 3. The men of the Machine Gun Corp in the main hall in 1917.

1940's

A member of the public remembers visiting the main hall 80 years ago when it was used to house a market and buying vegetables and butter from ladies dressed in black.

1950's

Another member of the community remembers being taken to Westgate Hall by her grandma in the early to mid-1950's to play "Housey Housey", an old fashioned term for Bingo.

1960's – 1970's

As described by a community member, the main hall once played host to Parliamentary Hustings and was attended by the late George Brown and Shirley Williams.

Another member of the public remembers having their wedding reception in the main hall, with 56 people in attendance and being treated to a lovely meal.

Several members of the community remember an auction house laying claim to the main hall. Several people remember it as William H Browns, a property auctioneer that is still active today, though of course not in this location. Another contributor remembers attending an auction as part of a school trip and their teacher bidding on a pair of carriage lamps. One person remembers the Catholic Church holding mass in the main hall when the local Church was being renovated in the 1960's.

Unknown

Several members of the community remember attending dance classes, recitals, and musical concerts in the main hall. With its imposing height, it would have provided the perfect space for these kinds of events.

1990's – Present.

An overwhelming number of people remember the good times that were had when Westgate Hall was home to various nightclubs, with one person remembering foam parties and several others remembering it as Jasper's.

More recently it has been called Vibe, Faces and Pulse nightclub.

RG01 – COMMERCIAL KITCHEN

1873

Thanks to a member of the public, we have learnt that on the ground floor the units currently known as RG01 and RG04 were constructed/extended to their current position in 1873. Prior to this they were covered areas with the first floor above supported by arched columns below. Figure x shows the ground floor with its estimated historic layout.

Once built, RG01 played host to the Grantham Working Men's Conservative Association as a reading room. We can assume it was at this point that the existing unit (entered from the entrance hallway or the main hall) was combined with the newly constructed unit (Figure 4).

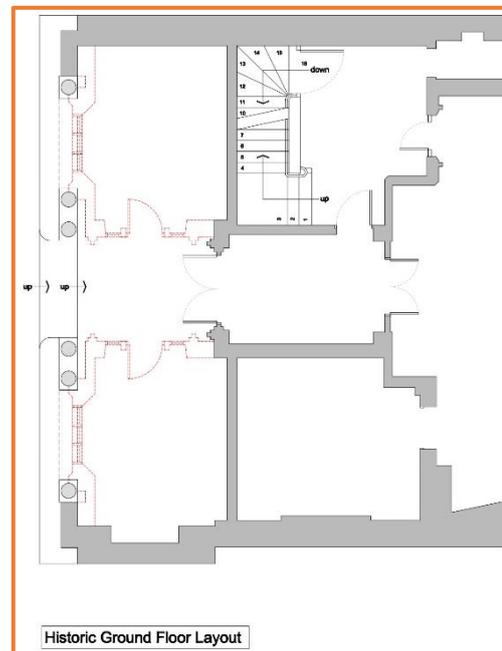


Figure 4: The approximate original layout of the ground floor

1960's – 1970's

By far the most prevalent memory we have received from members of the public was when the room was used as a doll's hospital, where you could take teddies and dolls to be mended as well as buying them accessories and clothes. We have received an overwhelming number of comments from people about their childhood and how they remember saving their pocket money to buy a particular doll or special piece of clothing.

Several people remember when Muriel Brown ran a small café to the rear of this room, behind the doll's hospital, where you could buy Billy cans of tea and coffee, and where stall holders from the market could have coffee, sandwiches and rolls delivered from, which they then paid for at the end of the day when a young member of staff would run around and collect their money.

Most recently, RG01 has been home to K&Co Fashion and Accessories, a clothing shop that we assume is the reason the existing mezzanine floor was installed.

RG04 – THE BEER SHOP

1873

As described previously, a community member has informed us that the units we currently know as RG01 and RG04 were originally constructed in 1873, approximately 20 years after the Hall itself was built. RG04 was let as an office or shop.

1960's – 1970's

In a similar fashion to RG01 being remembered as a doll hospital, peoples overwhelming memories of RG04 were as a small shop that sold babies and children's clothing, with several people remembering it as being a purveyor of the Ladybird's clothing line, brand that first appeared in the UK in 1938 and is still active today.

Unknown

Further reports from the community confirm that at one time Sixty Brothers Watchmakers maintained a workspace and shop in Westgate Halls. Although we cannot be sure which unit they were in, RG04 would have provided the perfect space for a small watchmaker.

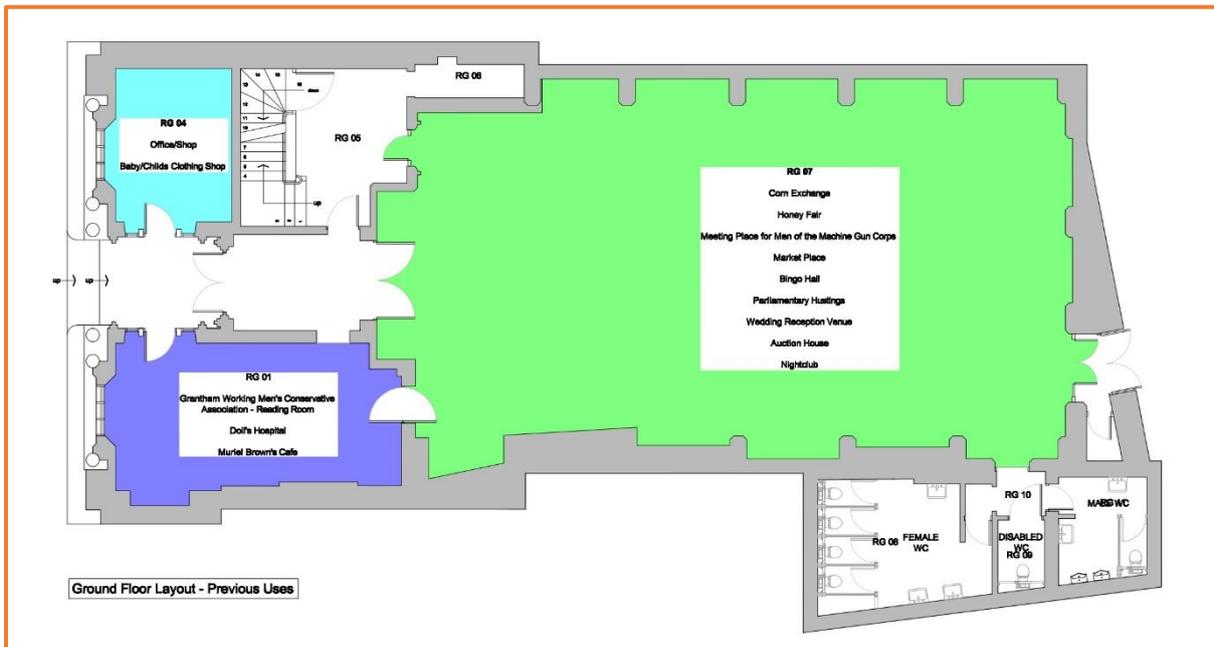


Figure 5: The Ground Floor layout labelled with the previous uses of each room/area.

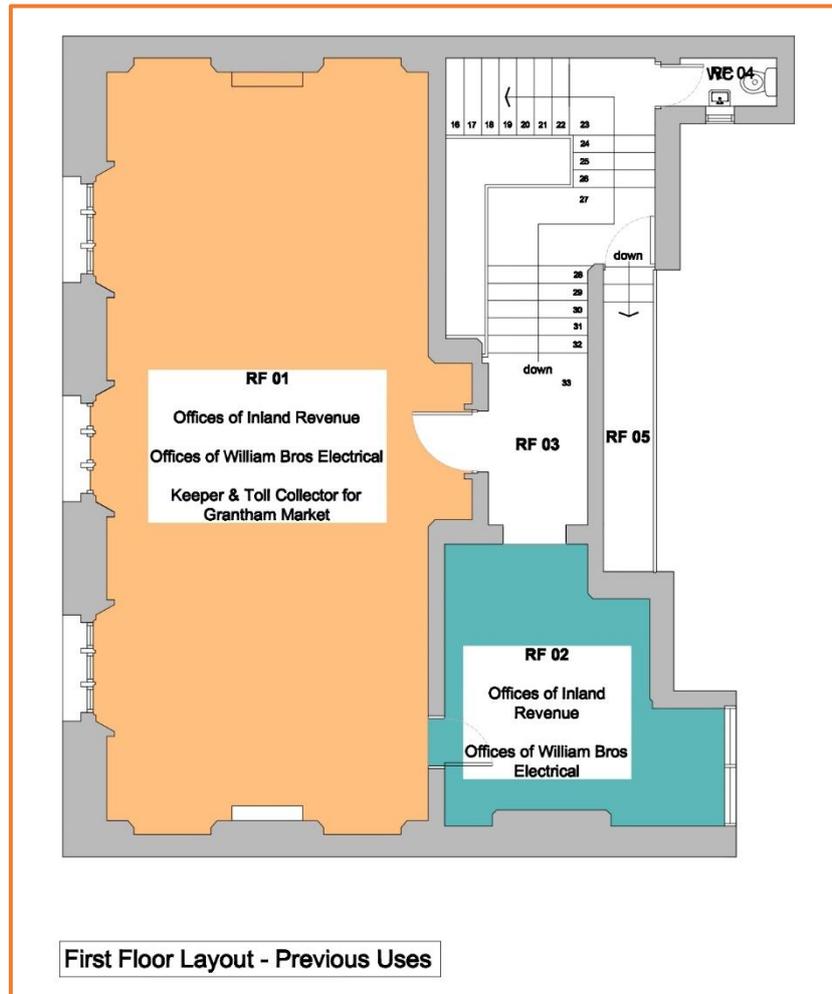


Figure 6: First Floor layout labelled with the previous uses of each room/area.

THE BASEMENT

The only memories that people have of the basement level was as its use as storage areas for William Bros Electrical.

In more recent decades the basement has served as staff communal area, office space, storage and beer cellar for the various nightclubs that have called Westgate Hall home.

CONCLUSION

In conclusion, our community engagement activities have garnered an overwhelmingly positive response for the preservation of Westgate Hall. The public have shared their memories, images and thoughts of the Hall and its history, and when included with the information already brought forward by the various stakeholders and partners in the project and our own historic research, it has built an impressive picture of the history of Westgate Hall and how it is intertwined with the historic of Westgate, the Market Place and Grantham as a whole.